



**MARINE CORPS EXCHANGE 0131**  
MARINE CORPS BASE  
CAMP LEJEUNE, NORTH CAROLINA 28542

IN REPLY REFER TO:  
MCEX/JDW/rsm  
4700/7000 Special  
5 Aug 1980

From: Marine Corps Exchange Officer  
To: Public Works Officer

Subj: 35% Review Comments Location Exchange

Ref: (a) TONECON Mr. J. D. Waugh and Mr. Charlie Pye 4 Aug 1980

Encl: (1) Sketch of Unloading and Tank Storage Area

1. The 35% drawings for Location Exchange Berkeley Manor N027 have been reviewed. Comments from Headquarters LFF-2 were discussed by reference (a). The following is a listing of recommendations for consideration and inclusion with Public Works comments:

a. Headquarters Marine Corps LFF-2 Comments:

- (1) Provide (2) parking spaces for Handicapped.
- (2) Provide water cooler and janitor sink in area of compactor opening adjacent to toilet facilities.
- (3) Provide rubber base in lieu of wood base in work area.
- (4) Building appears to be structurally overdesigned - refer to exterior walls.
- (5) Cement block walls should not be insulated; 2" styrofoam is sufficient.
- (6) Styrofoam insulation should be installed between block and brick walls not interior walls.
- (7) Design of building should consider future maintenance problems.
- (8) Underground gas tanks are shown as installed beneath gas pumps, recommend gas tanks be installed on south end of building adjacent to pavement.
- (9) Confirm thermal design requirements.

Gilbert Bond

1900

THE STATE OF CALIFORNIA

County of \_\_\_\_\_

Know all men by these presents, that \_\_\_\_\_ of the County of \_\_\_\_\_ State of California, for and in consideration of the sum of \_\_\_\_\_ Dollars, to \_\_\_\_\_ in hand paid by \_\_\_\_\_ the receipt of which is hereby acknowledged, have granted, sold and conveyed, and by these presents do grant, sell and convey unto the said \_\_\_\_\_ of the County of \_\_\_\_\_ State of California, all that certain \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

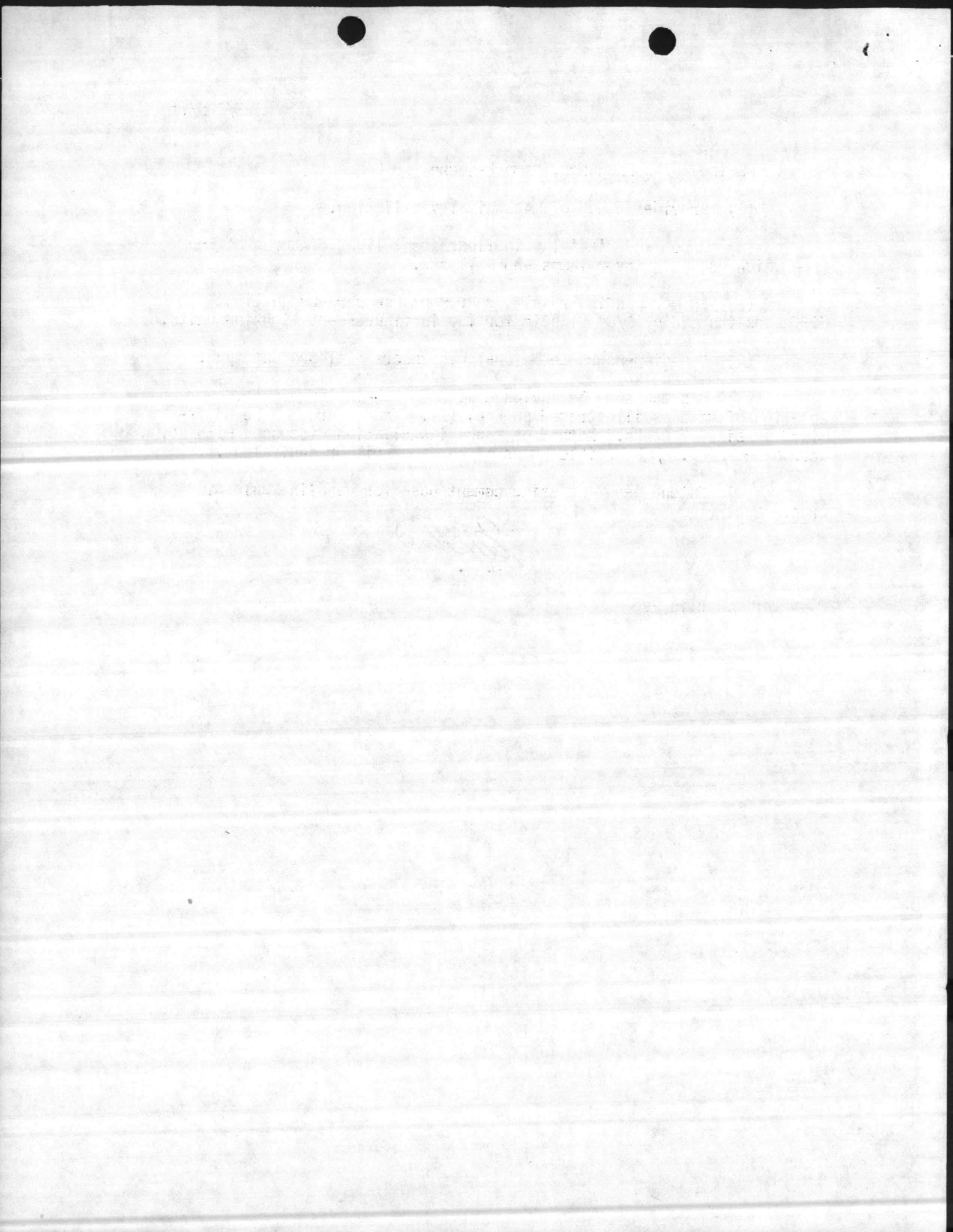
MCEX/JDW/rsm  
5 Aug 1980

b. Marine Corps Exchange, Camp Lejeune, NC Comments:

- (1) Provide method of mechanical ventilation.
- (2) Recommend 2'x4' lay in fluorescent light fixtures be the type which use watt saver lamps and ballasts.
- (3) In merchandise resale department use para-wedge light diffusers instead of 1/8" plastic for lay in fluorescent lighting units.
- (4) Gas dispensers to be dual dispensers dual product type.
- (5) Gas tanks to be enclosed with 48" chain link fence. Location of gate as illustrated on Encl (1). Fenced area to be determined by size of tanks. Method of tanks installation discussed with Mr. Carr 6 Aug 1980. Submercible pumps to be Red Devil or equivalent.
- (6) Extend pavement using cement base for gasoline unloading area. Encl (1)

  
E. M. GLASS

Copy to: Charlie Pye



83° 00' 30" E → 300'00

BERKELEY  
MANOR EXCHANGE

FENCE  
C/O

+30.3

NOT TO SCALE

36" GATE

PUMPS

12'60"  
CEMENT  
AREA  
FOR  
UNLOAD

N 06° 59' 3"

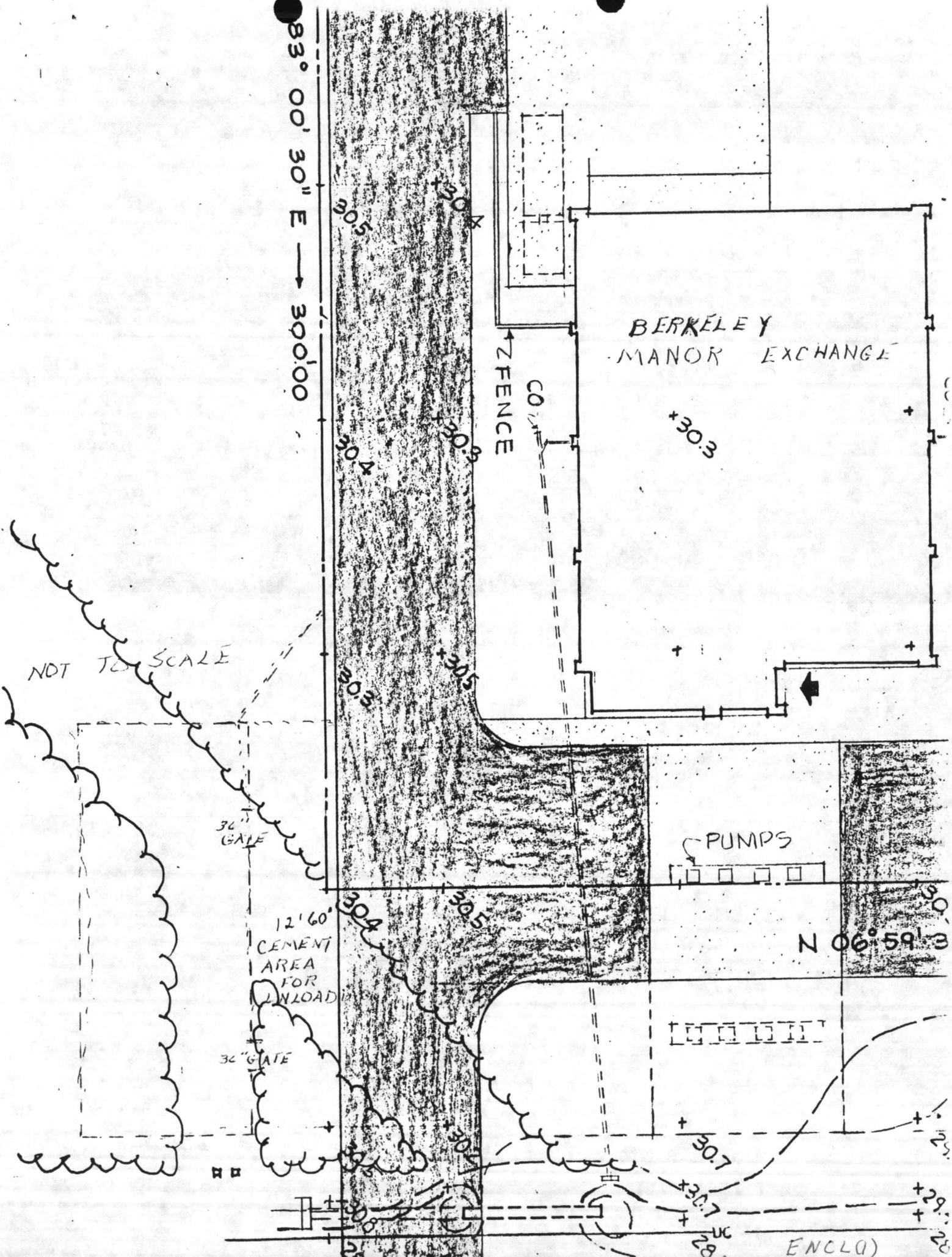
36" GATE

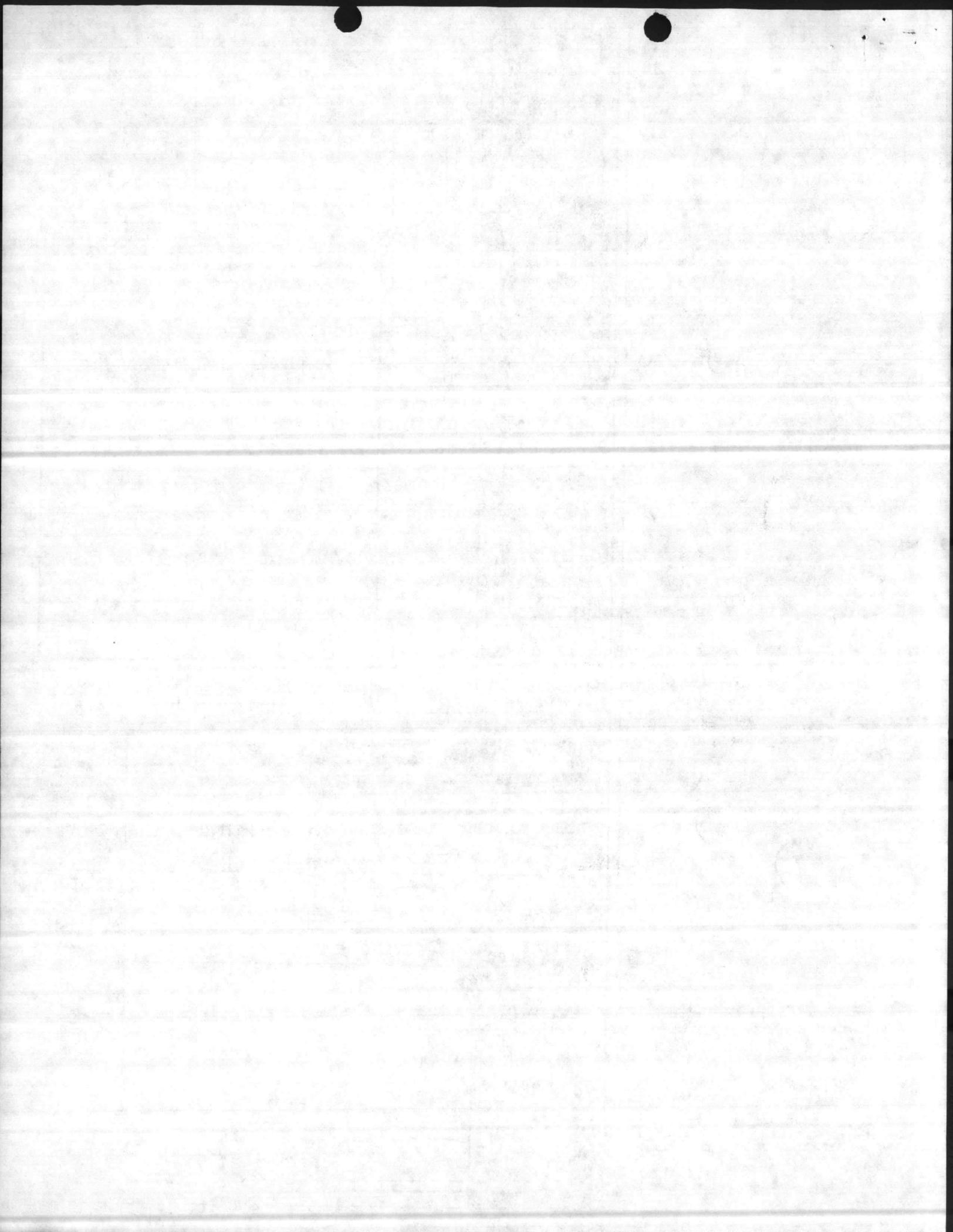
[REINFORCED CONCRETE WALL]

+30.7

+30.7

ENCLD)





MCEX/ANW/cwk  
4700/7000 (Special)  
7 December 1979

From: Marine Corps Exchange Officer  
To: Commanding General, Marine Corps Base, Camp Lejeune, North  
Carolina 28542 (Assistant Chief of Staff, Comptroller)

Subj: Certification of Availability of Funds for Project <sup>N026</sup>  
Berkeley Manor Location Exchange <sup>N027</sup>

Encl: (1) Copy CMC ltr LFF-1-JBB:bab of 23 Nov 79

1. The enclosure approved the expenditure of Marine Corps Central Construction Funds for the construction of Berkeley Manor Location Exchange (Project <sup>N026</sup>).

2. This is to certify that nonappropriated funds in the amount of \$754,435 are on deposit with the Central Construction Fund, Headquarters, U.S. Marine Corps, to support the subject project and have been reserved for this purpose as follows:

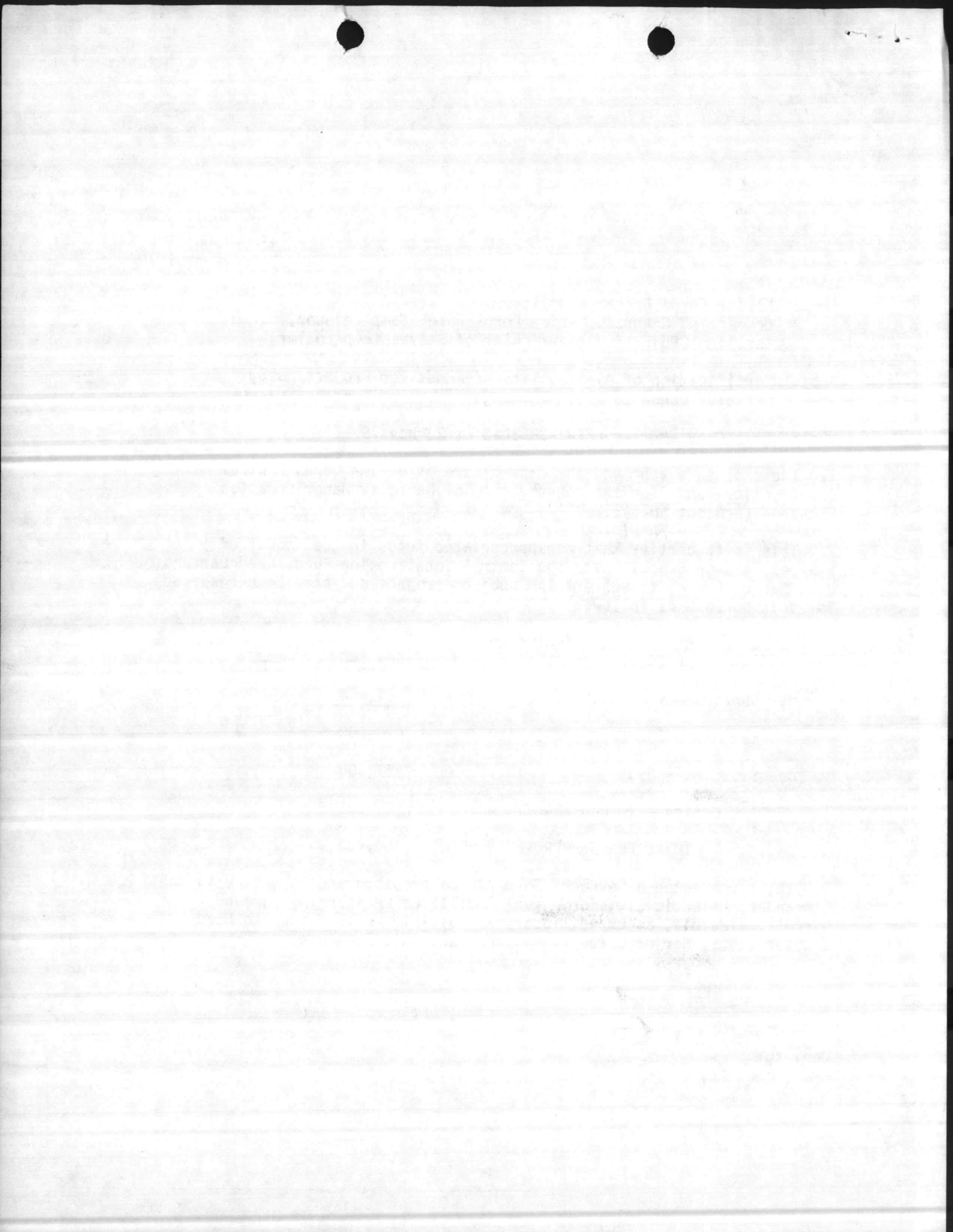
a. Construction Costs, including 15% for escalation	\$609,500
b. Contingency of 10%	<u>61,000</u>
c. Estimated Construction Costs	670,500
d. S.I.O.H. - 5.5%	37,000
e. A&E Design & In House - 7%	<u>46,935</u>

TOTAL FUNDS APPROVED HEREIN \$754,435

3. It is requested a NAVCOMPT Form 739 be prepared and forwarded to the Commander, Atlantic Division, Naval Facilities Engineering Command, Norfolk, Virginia, as expeditiously as possible, with a copy to Headquarters, U.S. Marine Corps (Code LFE), and this Exchange.

E. M. GLASS

Copy to:  
CMC (Code LFE)



1. COMPONENT

FY 1983 MILITARY CONSTRUCTION PROJECT DATA

2. DATE

NAVY

29 Aug 78

3. INSTALLATION AND LOCATION

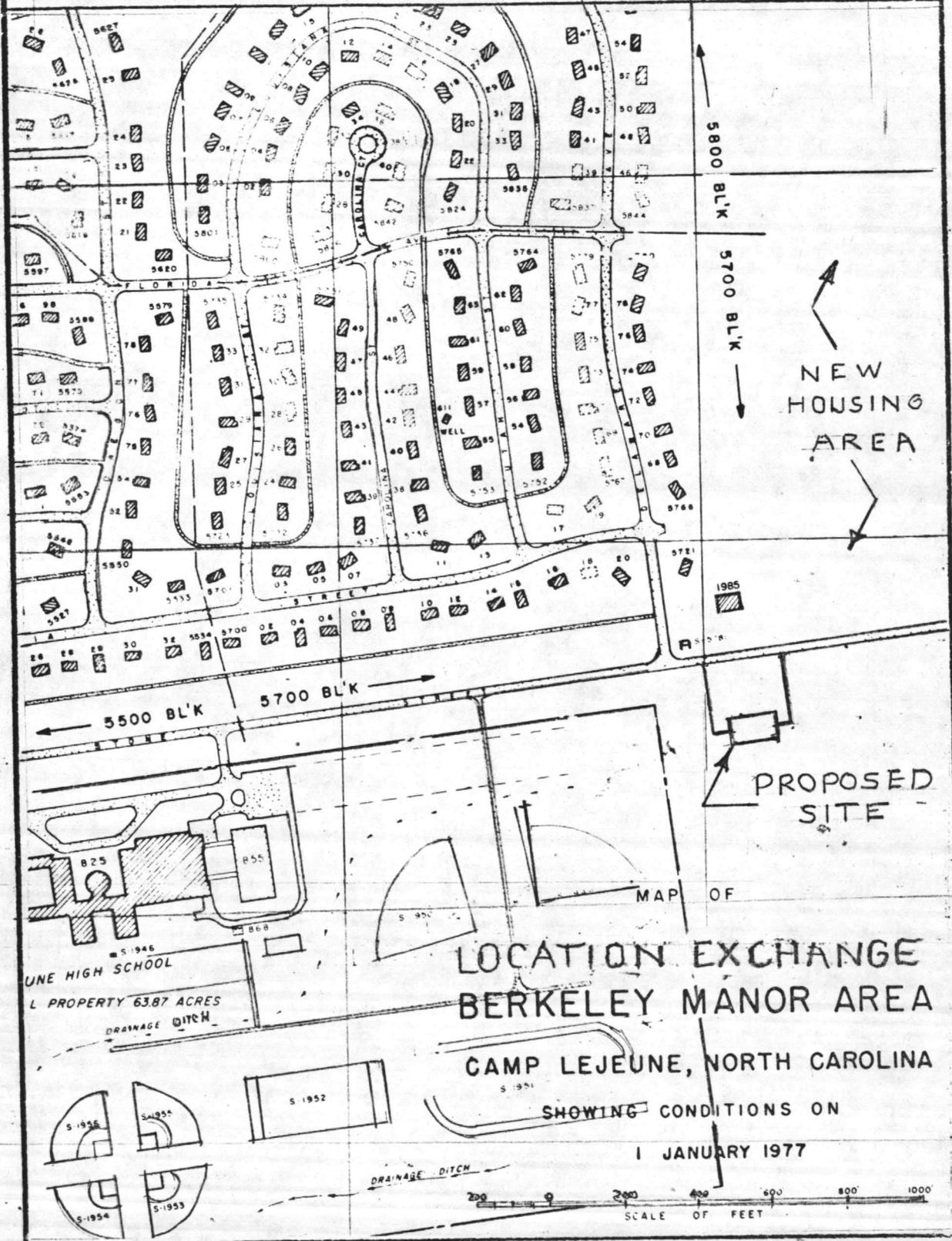
MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

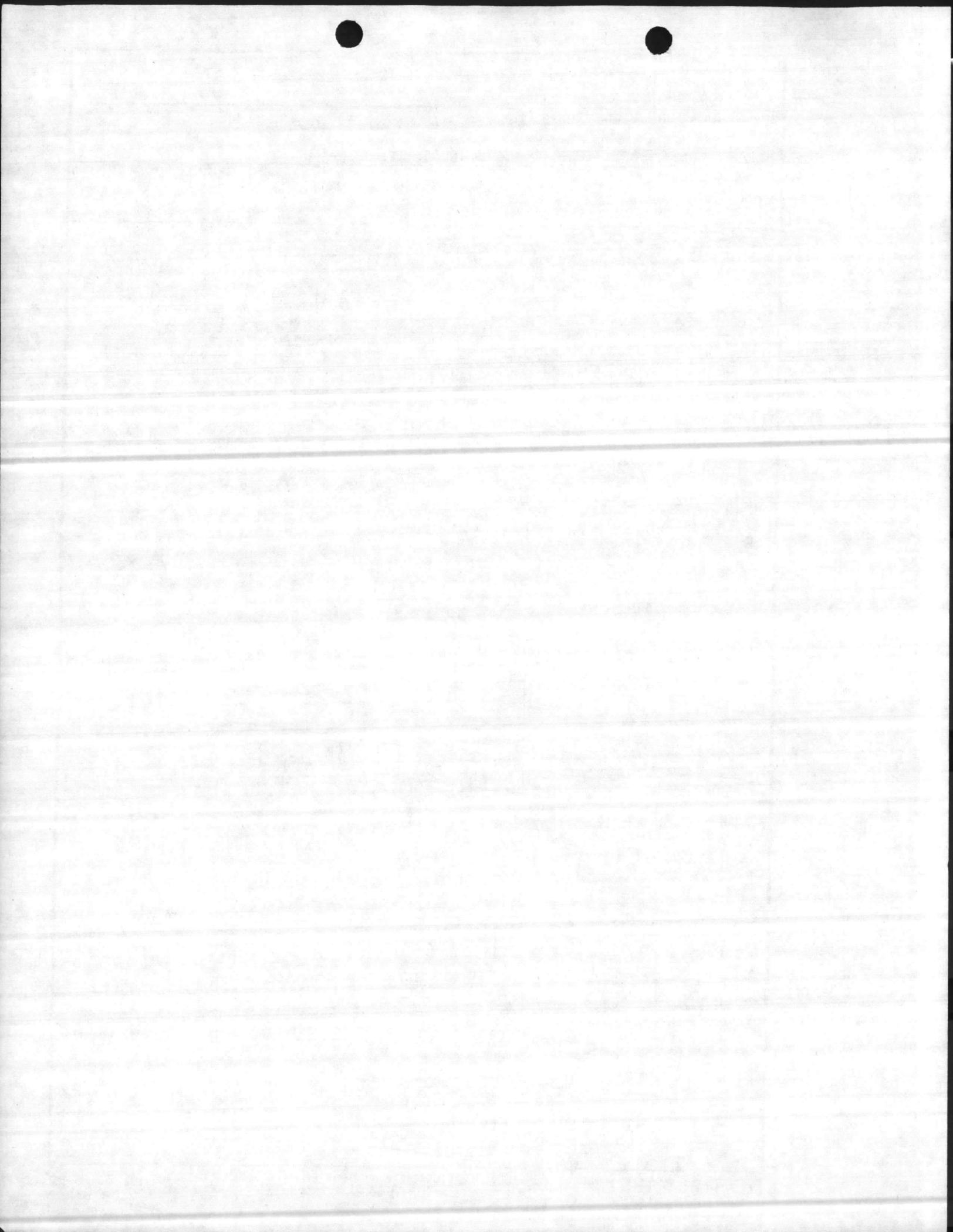
4. PROJECT TITLE

LOCATION EXCHANGE, BERKLEY MANOR HSG AREA

5. PROJECT NUMBER

P-758





REPORT OF CONFERENCE

DATE:

LOCATION: Bldg. 1005, Public Works, MCB, CLNC

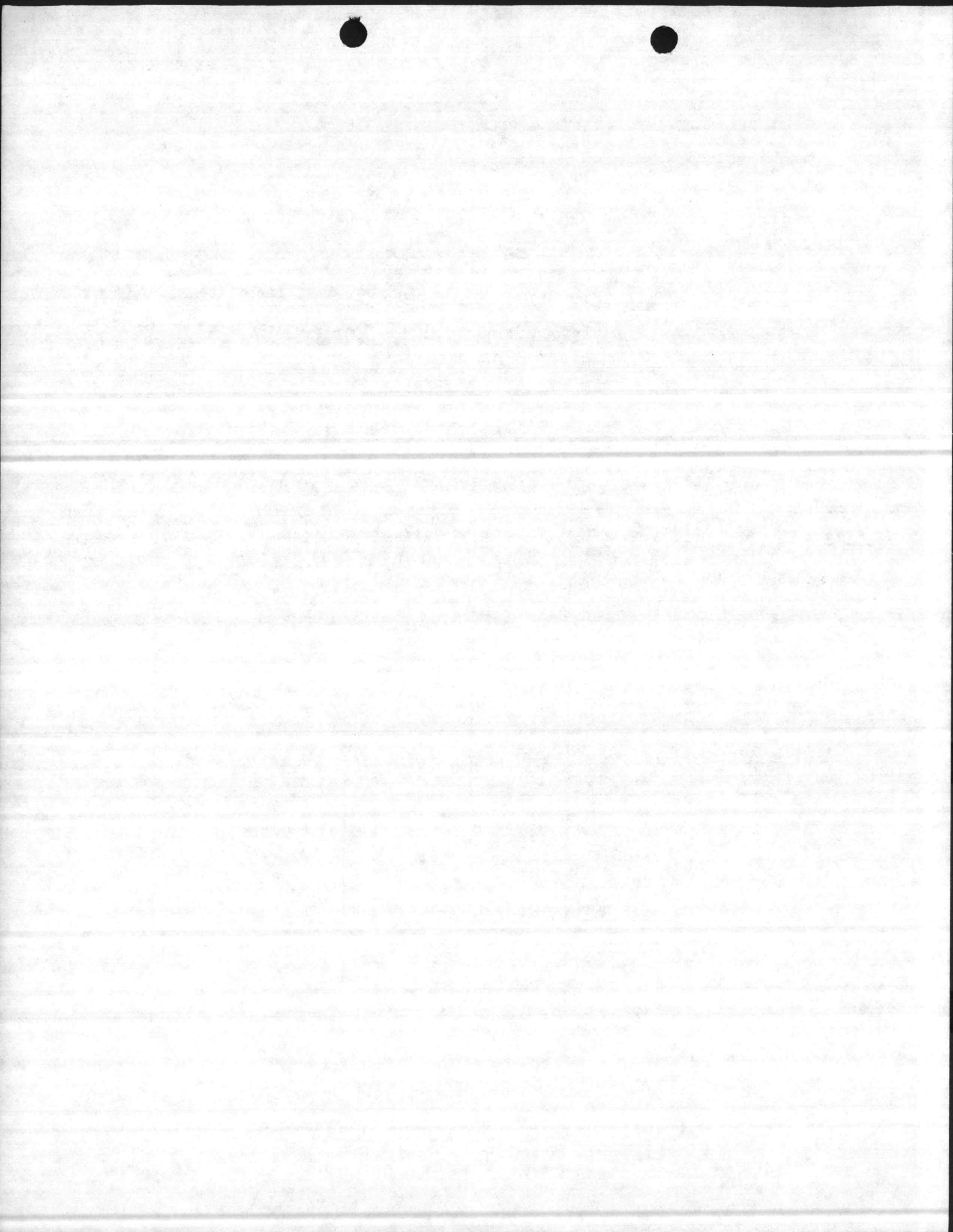
TIME & DATE: 1100 8 MAY 80

SUBJECT: LOCATION EXCHANGE, BERKELEY MANOR

PURPOSE: PRE-DESIGN CONFERENCE

LIST OF ATTENDEES

NAME	RANK	TITLE	ORGANIZATION	TELEPHONE NO.
LARRY N. STALLINGS		ARCHITECT	PUBLIC WORKS DEPT	451-3658
James D. WAUGH		P&M DIR.	MCX0131	451-2135
Robert W. Carr		Architect	CARR HARRISON PRUDEN INC	688-6308



1. COMPONENT NAVY	FY 19__ MILITARY CONSTRUCTION PROJECT DATA			2. DATE 26 July 79
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542		4. PROJECT TITLE LOCATION EXCHANGE - BERKELEY MANOR HSG/AREA FY 1980		
5. PROGRAM ELEMENT	6. CATEGORY CODE 740-02	7. PROJECT NUMBER P-758	8. PROJECT COST (\$000) 838	
<b>9. COST ESTIMATES</b>				
ITEM	U/M	QUANTITY	UNIT COST	COST (\$000)
LOCATION EXCHANGE W/SPECIAL FNDN. INCL TANKS	SF	7,210	45.35	423
ADDITIONAL PAVEMENT	LS	-	-	45
UTILITIES: WATER, ELEC, SEWER, STEAM TO SITE	LS	-	-	23
SITE IMPROVEMENT/EROSION CONTROL	LS	-	-	39
SUBT. COST	LS	-	-	530
ESCALLATION 15%	LS	-	-	80
ESTIMATED CONTRACT COST	LS	-	-	610
SUPERVISION, INSPECTION & OVERHEAD 5.5%	LS	-	-	37
TOTAL REQUEST	LS	-	-	647
CONTINGENCY	-	-	-	61
A & E DESIGN FEE - 12%	LS	-	-	47
PROJECT COST	LS	-	-	755
10. DESCRIPTION OF PROPOSED CONSTRUCTION Single story structure with reinforced concrete foundation and floor, brick veneer masonry walls, build up roof, insulation, air conditioning/heat pump system, utilities connected, pavements, and site improvements.				
11. <u>REQUIREMENTS.</u> 32,717 SG <u>ADEQUATE</u> 0. SF. <u>SUBSTD</u> 22,672 SF. <u>PROJECT.</u> Provide a location Exchange with snack bar, barber shop, utilities, pavements, and site improvements for personnel in the Berkeley Manor Housing Area. <u>REQUIREMENT.</u> An Exchange is required to provide dependents and personnel living in the Berkeley Manor/Paradise Point Housing areas a facility in close proximity to their quarters. <u>CURRENT SITUATION.</u> Minimum Exchange functions are being provided in a convenience outlet facility with limited display and storage area. <u>IMPACT IF NOT PROVIDED.</u> Personnel will be compelled to continue to use inadequate exchange facilities, and/or travel or walk to the Main Exchange which is some distance from the area.				

DATE: 6 JULY 79  
PROJECT TITLE: LOCATION EXCHANGE - PERMIT  
LANDS AREA - BY 1980

PROJECT NUMBER: 280-01  
ESTIMATE NUMBER: 1

ITEM	QUANTITY	UNIT	ESTIMATED COST
LOCATION EXCHANGE SPECIAL FIBER OPTIC TAPPING	25	LF	450
ADDITIONAL PAVEMENT	15	LF	45
UTILITIES: WATER, ELEC, SEWER, STEAM TO SITE	15	LF	30
SITE IMPROVEMENT POSITION CONTROL	15	LF	30
SUBT. COST	15	LF	30
ESCALATION 15%	15	LF	30
CONTINGENT COST	15	LF	30
INVESTIGATION INSPECTION OVERHEAD 5%	15	LF	30
CONVEYANCE	15	LF	30
EFFICIENCY	15	LF	30
PROJECT COST	15	LF	30

Single story structure with reinforced concrete foundation and floor slab. Structure will be constructed in accordance with specifications and drawings. Structure will be constructed in accordance with specifications and drawings. Structure will be constructed in accordance with specifications and drawings.

1. ACQUISITION. The acquisition of the site for the project is being provided in accordance with the specifications and drawings. The acquisition of the site for the project is being provided in accordance with the specifications and drawings.

PROJECT. Provide a location exchange with snack bar, bar, and shop. Provide a location exchange with snack bar, bar, and shop. Provide a location exchange with snack bar, bar, and shop.

REQUIREMENT. An exchange is required to provide dependents and personnel. An exchange is required to provide dependents and personnel. An exchange is required to provide dependents and personnel.

CURRENT SITUATION. Current exchange functions are being provided in accordance with the specifications and drawings. Current exchange functions are being provided in accordance with the specifications and drawings.

IMPACT (NOT PROVIDED). Personnel will be provided to continue to use the exchange facilities and travel to the site. Personnel will be provided to continue to use the exchange facilities and travel to the site.

CONCLUSION. The project is being provided in accordance with the specifications and drawings. The project is being provided in accordance with the specifications and drawings.

IDENTIFICATION NUMBER

P-758

AREA OR NO 5th ND	ACTIVITY Marine Corps Base	LOCATION Camp Lejeune, NC	CATEGORY CODE NUMBER 740-02
PROJECT (Or line item) TITLE			

LOCATION EXCHANGE, BERKELEY MANOR HSG AREA

ITEM (OR FEATURE) DESCRIPTION <i>(Abbreviate if necessary)</i>	QUANTITIES		MATERIAL COSTS		LABOR COSTS		ENGINEERING ESTIMATE	
	NO. OF UNITS	UNIT	UNIT COST	COST	UNIT COST	COST	UNIT COST	COST
1	2	3	4	5	6	7	8	9
4" Reinf. conc. slab, ftgs, piling, etc.		LS		16,250		5,357		21,607
Brick, face, sand/clay CMU, 6" w/insulation	39,750	EA	0.26	10,335	0.76	30,210	1.02	40,545
Insul, wall, rigid	2,500	EA	0.85	2,125	2.42	6,050	3.27	8,175
Bar joist	2,000	SF	0.53	1,060	0.25	500	0.78	1,560
Struct. stl.	5	TN	1056.	5,280	270.	1,350	1326.	6,630
Col., stl. pipe 4"	6	TN	1124.	6,744	288.	1,728	1412.	8,472
Deck, mtl., roof	1,000	LB	0.59	590	0.22	220	0.81	810
Roof, built up	7,210	SF	1.25	9,012	0.96	6,922	2.21	15,934
Flashing, copper	73	SQ	82.88	6,050	42.92	3,133	125.80	9,183
Insul., rigid, 2"	530	SF	3.52	1,866	2.35	1,245	5.87	3,111
Tile, accoust., clg	7,210	SF	1.05	7,570	0.51	3,677	1.56	11,247
Insul., batt, clg.	7,210	SF	1.71	12,329	0.93	6,705	2.64	19,034
Tile, vinyl asb	7,210	SF	1.05	7,570	0.54	3,893	1.59	11,463
Hemgatile Fl.	3,000	SF	1.56	4,680	0.71	2,130	2.27	6,810
Dr., entr., al., dbl., w/frames & hdw.	4,210	SF	2.10	8,841	1.40	5,894	3.50	14,735
Dr., H.M. ext., dbl., w/frames & hdw.	4	EA	1568.	6272	902.	3,608	2470.	9,880
Dr., H.M., int	4	EA	991.	3,964	370.	1,480	1361.	5,444
Partitions, wall, int.	6	EA	281.	1,686	177.	1,062	458.	2,748
Stalls, mtl., toilet	260	LF	36.03	9,368	20.79	5,405	56.82	14,773
Downspout, mtl. copper	8	EA	350.	2,800	121.36	970	471.36	3,770
Scruppers, mtl. copper	168	LF	9.62	1,616	1.25	210	10.87	1,826
Canopy, al., 6"	12	EA	115.44	1,385	41.44	497	156.88	1,882
Painting	114	LF	19.24	2,193	13.32	1,518	32.56	3,711
Electrical	4,400	SF	0.26	1,144	0.62	2,728	0.88	3,872
Transf. 150 KVA w/accys 400 Amp. pnls & pnl. lgt, w/brks, etc.	2	EA	5742.	11,484	1235.	2,470	6,977.	13,954
Fluor. fix, 4T96	3	LS	1805.	5,415	251.	753	2058.	6,168
Recpt., elect	90	EA	173.16	15,584	47.36	4,262	220.52	19,846
MV fix., ext, w/pol	60	EA	8.88	533	14.06	843	22.94	1,376
Misc. wiring & cond.	8	EA	843.60	6,749	562.40	4,499	1406.	11,248
Fire protection system lights & alarm		LS		3,293		6,349		9,642
		LS		3,492		1,568		5,060

PREPARED BY (Name)

APPROVED BY

TITLE OR ORGANIZATION

DATE

IDENTIFICATION NUMBER: 1-250  
 CATEGORY CODE NUMBER: A-0-05  
 PROJECT: [illegible]  
 LOCATION: [illegible]  
 CONTRACTOR: [illegible]

LOCATION: RANGE BERRYLAND, ILL. AREA

ITEM OR FLIGHT OF POSITION (Include in description)	QUANTITIES		MATERIAL COSTS		LABOR COSTS		ENGINEERING ESTIMATE	
	UNIT	QTY	UNIT	COST	UNIT	COST	UNIT	COST
lights & alarm	LS	1		3.495		1.588		5.080
fire protection system	LS	1		3.293		6.310		9.603
Misc. wiring & cond.	LS	3		843.60		4.499		11.248
IV fix., ext. wood	EA	3		200		1.408		11.248
Recpt., elect	EA	60		8.88		813		1.376
Fluor. fix. 4100	EA	90		173.16		4.285		16.846
1 qt. wks. etc.	LS	3		1805		251		6.163
400 Amp. pds & cat.	EA	3		5745		5.170		13.054
Electrical	EA	3		11.484		1835		13.054
Painting	EA	1,400		0.88		2.758		3.875
Candy, 3" 6"	EA	114		18.24		18.35		3.711
Scraper, mt. copper	EA	15		115.44		41.44		1.885
Downspout, mt. copper	EA	108		9.85		1.210		1.858
Stairs, mt. copper	EA	8		380		151.36		3.750
Partitions, wall, int.	EA	250		36.03		50.79		14.773
Dr., H.M. int.	EA	5		5817		177		5.748
W/frames & hdw.	EA	4		9017		370		5.444
Dr., H.M. ext., hdw.	EA	1		1568		905		9.880
W/frames & hdw.	EA	1		5470		3.608		9.880
Hemlock 12"	EA	4,210		2.19		1.40		14.738
Tie, vinyl sad	EA	3,000		1.36		0.71		14.738
Insul., cat. cfr.	EA	7,210		1.05		0.54		11.463
Tie, account, cfr	EA	7,210		1.71		0.93		11.463
Insul., vinyl 2"	EA	7,210		1.05		0.51		11.463
Fishing, copper	EA	830		3.52		2.36		3.111
Root, built up	EA	73		82.88		45.95		9.183
Deck, mt., roof	EA	7,210		1.25		0.96		9.183
Col., gal. pipe 4"	EA	1,000		0.59		0.35		9.183
Struct. stl.	EA	8		1154		898		9.183
Bar joist	EA	1056		6.50		370		9.183
Insul., wall, rigid	EA	2,000		0.53		0.28		9.183
CMU, 6" insulation	EA	2,500		0.85		2.45		9.183
Brick, face, sand/clay	EA	3,750		0.25		0.76		9.183
Ties, r/ind, etc.	EA	30,750		16.50		30.210		9.183
5" Reinf. conc. slab	EA	15		16.50		5.357		51.607

APPROVED BY: [illegible]  
 TITLE OR ORGANIZATION: [illegible]  
 DATE: [illegible]

IDENTIFICATION NUMBER P-758
CATEGORY CODE NUMBER 740-02

AREA OR NO 5th ND	ACTIVITY Marine Corps Base	LOCATION Camp Lejeune, NC
PROJECT (Or line item) TITLE		

LOCATION EXCHANGE, BERKELEY MANOR HSG AREA

ITEM (OR FEATURE) DESCRIPTION <i>(Abbreviate if necessary)</i>	QUANTITIES		MATERIAL COSTS		LABOR COSTS		ENGINEERING ESTIMATE	
	NO. OF UNITS	UNIT	UNIT COST	COST	UNIT COST	COST	UNIT COST	COST
1	2	3	4	5	6	7	8	9
<b>Heat., A/C &amp; Vent</b>								
35 TN heat pump, controls, resistor coils w/insulated duct, diff. & grilles		LS		48,723		21,812		70,535
Exh. fan, w/hood	4	EA	703.	2,812	185.	740	888.	3,552
Misc. hoods & fans for soda fountain, etc.		LS		3,010		1,176		4,186
<b>Plumbing</b>								
Toilet fix. w/piping	4	EA	436.	1,744	421.	1,684	857.	3,428
Fl. drains w/piping	8	EA	352.	2,816	236.	1,888	588.	4,704
Elect. drink ftn. & acc.	2	EA	732.	1,464	251.	502	983.	1,966
Hot water heater, storage, 1,000 gal.	1	EA		4,536		577		5,113
<b>Site Work</b>								
Paving, sub-base, grading & escav.		LS		32,500		12,500		45,000
Utilities to site location		LS		12,500		10,500		23,000
Clearing & grubbing		LS		14,000		25,000		39,000
<b>SUB TOTALS</b>				301,385		193,615		
Installation of tanks, pumps & control center								35,000
<b>SUB TOTAL</b>								530,000
Escallation 15% thru 1980								79,500
<b>Construction Cost</b>								609,500
Contingency 10%								61,000
<b>SUB TOTAL</b>								670,500
SIOH 5.5								37,000
A & E Design In-House 7%								46,935
<b>Total Estimate Cost of Project</b>								754,435

PREPARED BY (Name)	APPROVED BY	TITLE OR ORGANIZATION	DATE
--------------------	-------------	-----------------------	------

PROJECT OR NUMBER

WADSWORTH CODE NUMBER

LOCATION

AREA OR NUMBER

WADSWORTH CODE NUMBER

WADSWORTH CODE NUMBER

PROJECT OR NUMBER

LOCATION

ITEM OR MATERIAL DESCRIPTION (Include quantities & units)	QUANTITIES		WATERLAB COSTS		LABOR COSTS		ENGINEERING ESTIMATE
	UNIT	QTY	UNIT	COST	UNIT	COST	
Heat, A/C & Vent							
55 IN. DIA. COND.							
Wires, resistor coils							
W/insulated duct, diff.							
& grilles							
Exp. fan, wood	EA	100		2,812		185	3,588
Misc. wood & pans for							
soda fountain, etc.				3,010		1,176	4,186
Blumling							
Toilet fix, w/piping	EA	432		1,744		481	2,225
Fl. drains w/piping	EA	352		2,812		238	3,088
Elect. drink pan. & acc.	EA	132		1,464		251	1,715
Hot water heater, stor-							
age, 1,000 gal.	EA	1		4,536		577	5,113
Site Work							
Painting, sub-base,							
grading & estab.							
Utilities to site							
location							
Clearing & grubbing							
SUB TOTALS				301,382		193,618	
Installation of tanks,							
pumps & control center							
SUB TOTAL							
Escalation 12% thru 1980							
Construction Cost							
Contingency 10%							
SUB TOTAL							
10% S.B.							
7 & 8% Design In-House							
Total Estimate Cost of Project							154,432

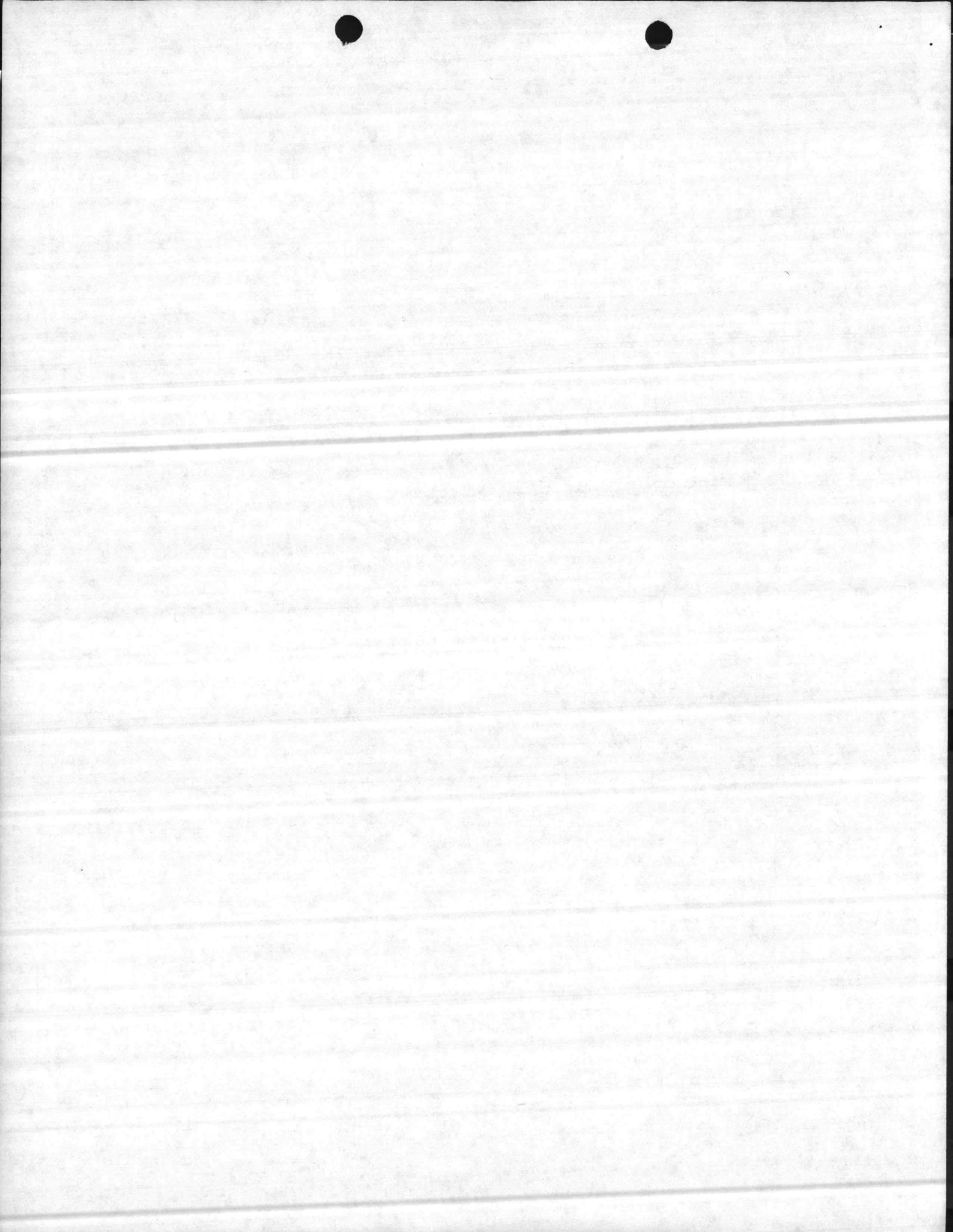
DATE

FILE OR ORGANIZATION

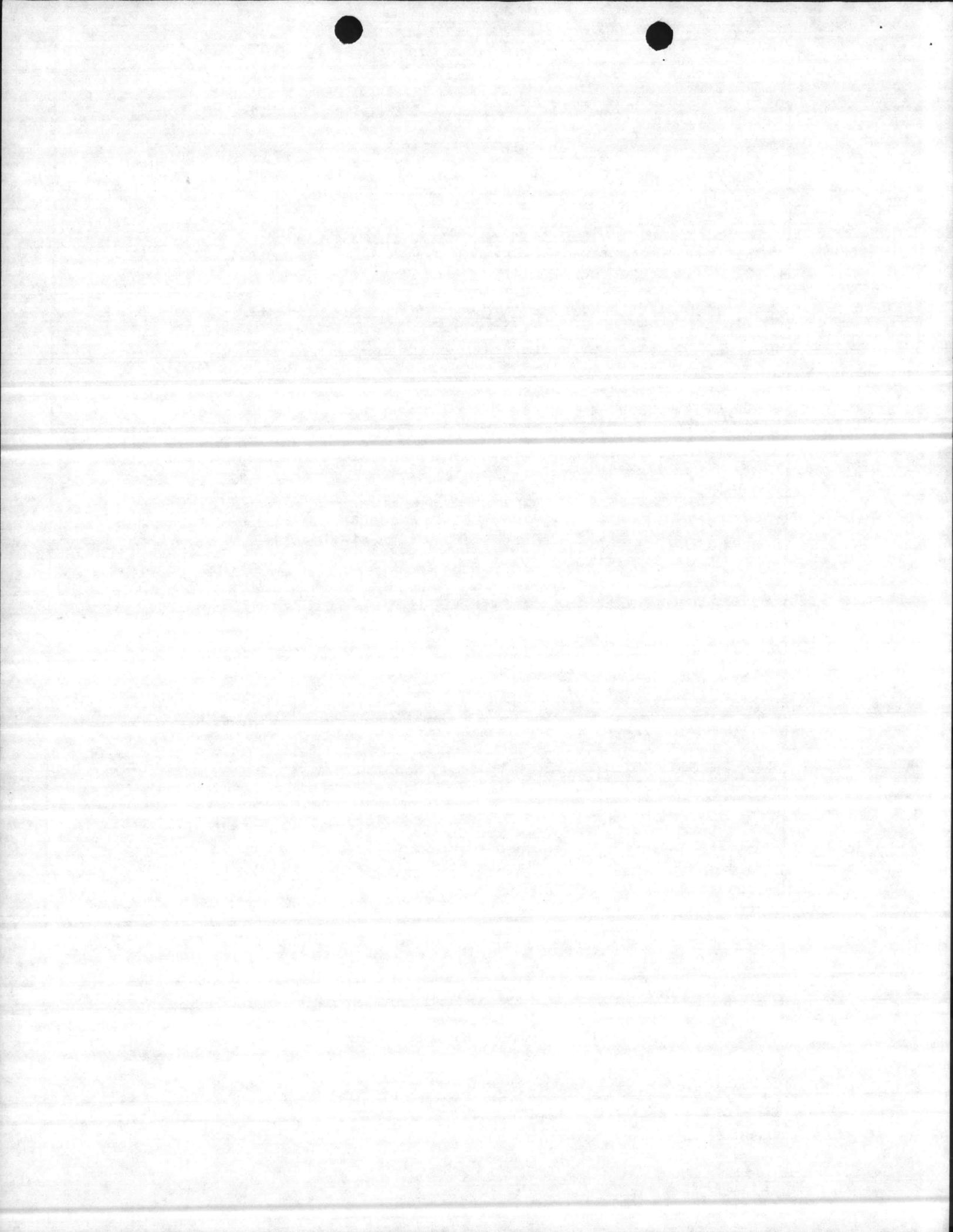
WADSWORTH

PROJECT OR NUMBER

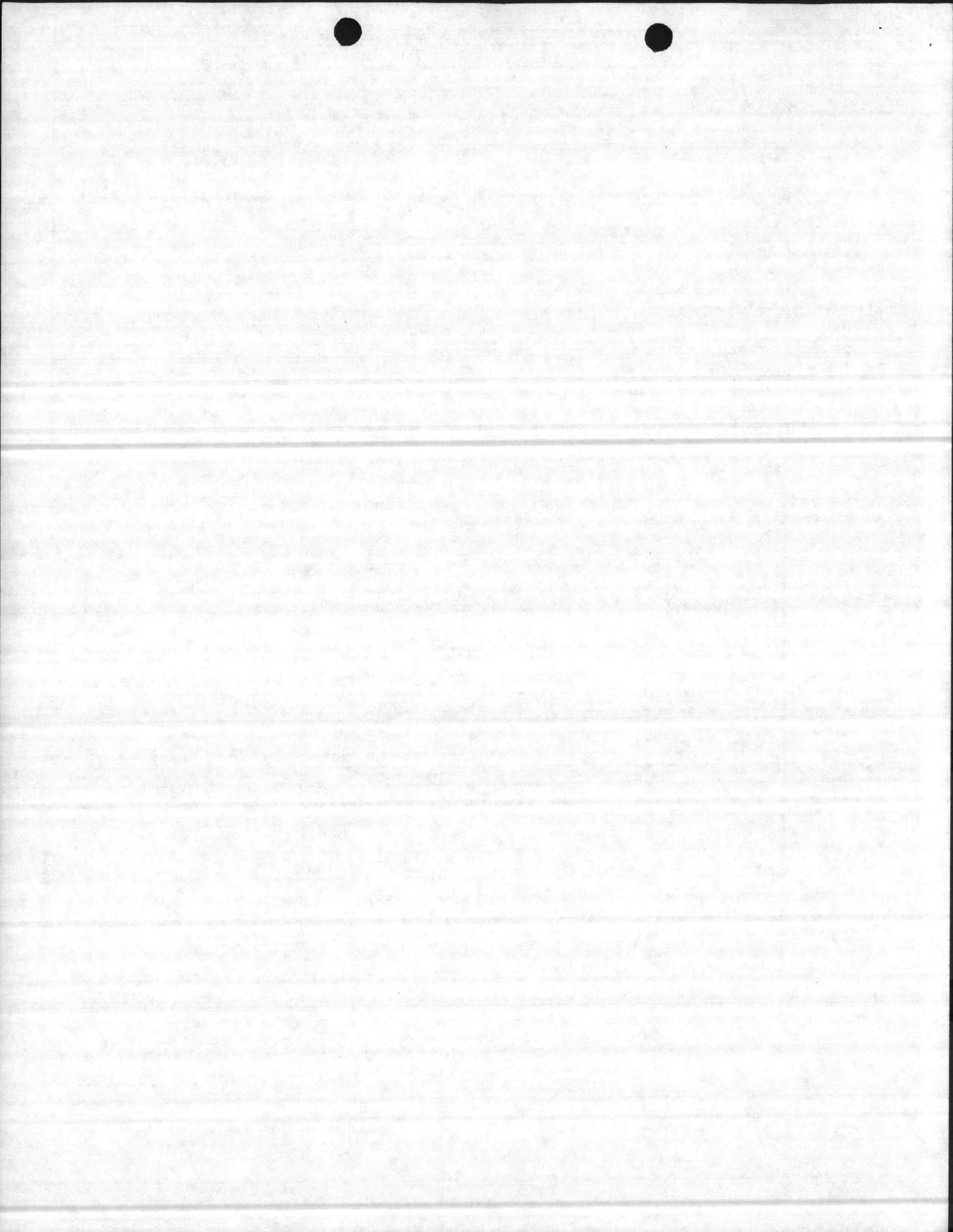
1. COMPONENT NAVY	FY 19 <u>82</u> MILITARY CONSTRUCTION PROJEC. DATA	2. DATE 20 Oct 78
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE LOCATION EXCHANGE, BERKELEY MANOR	5. PROJECT NUMBER P-758	
<p style="text-align: center;"><u>FACILITY STUDY</u></p> <p>1. <u>Project</u>. Provides a Location Exchange for personnel working and living in the area.</p> <p>2. <u>Current and Planned Future Workload with Regard to This Project</u>. The facilities will be utilized on an 8 hour day basis seven days a week. The duration of need for this facility is indefinite.</p> <p>3. <u>Description of Proposed Construction</u>:</p> <p style="padding-left: 40px;">a. <u>Type of Construction</u>. One-story modular steel frame, reinforced concrete, special foundation, masonry walls, concrete floors, built-up roof, insulation, interior utility systems, rigid and flexible pavements, security lighting, utility connections, site improvement. etc.</p> <p style="padding-left: 40px;">b. <u>Replacement</u>. Not applicable.</p> <p style="padding-left: 40px;">c. <u>Description of Work to be Done</u>.</p> <p style="padding-left: 80px;">(1) <u>Primary Facility</u>. Modular steel frame, reinforced concrete/masonry structure on special foundation.</p> <p style="padding-left: 80px;">(2) <u>Support Facility</u>. Pavements, lighting and site improvement.</p> <p style="padding-left: 80px;">(3) <u>Energy Conservation</u>. This project will utilize energy efficient equipment and building orientation for maximum energy conservation.</p> <p style="padding-left: 80px;">(4) <u>Collateral Equipment</u>.</p> <p style="padding-left: 80px;">(a) <u>Built-in</u>: venetian blinds, window screens and doors, drinking water coolers, telephone, fire alarm, sprinkler and intercom systems, plumbing, heating, ventilating and air-conditioning systems. (The foregoing items are considered in the project cost estimate for the facility reflected on the 1391.)</p> <p style="padding-left: 80px;">(b) <u>Expense Items</u>: will be non-appropriated fund supplied equipment.</p> <p style="padding-left: 80px;">(5) <u>Supporting Facilities</u>. Special foundation, pollution abatement, site improvements, etc.</p> <p>4. <u>Cost Estimates</u>. Area cost factor for Camp Lejeune, N. C. is 1.00, NAVFAC P-448 (Feb 1976), Military Construction Cost Engineering Data.</p>		



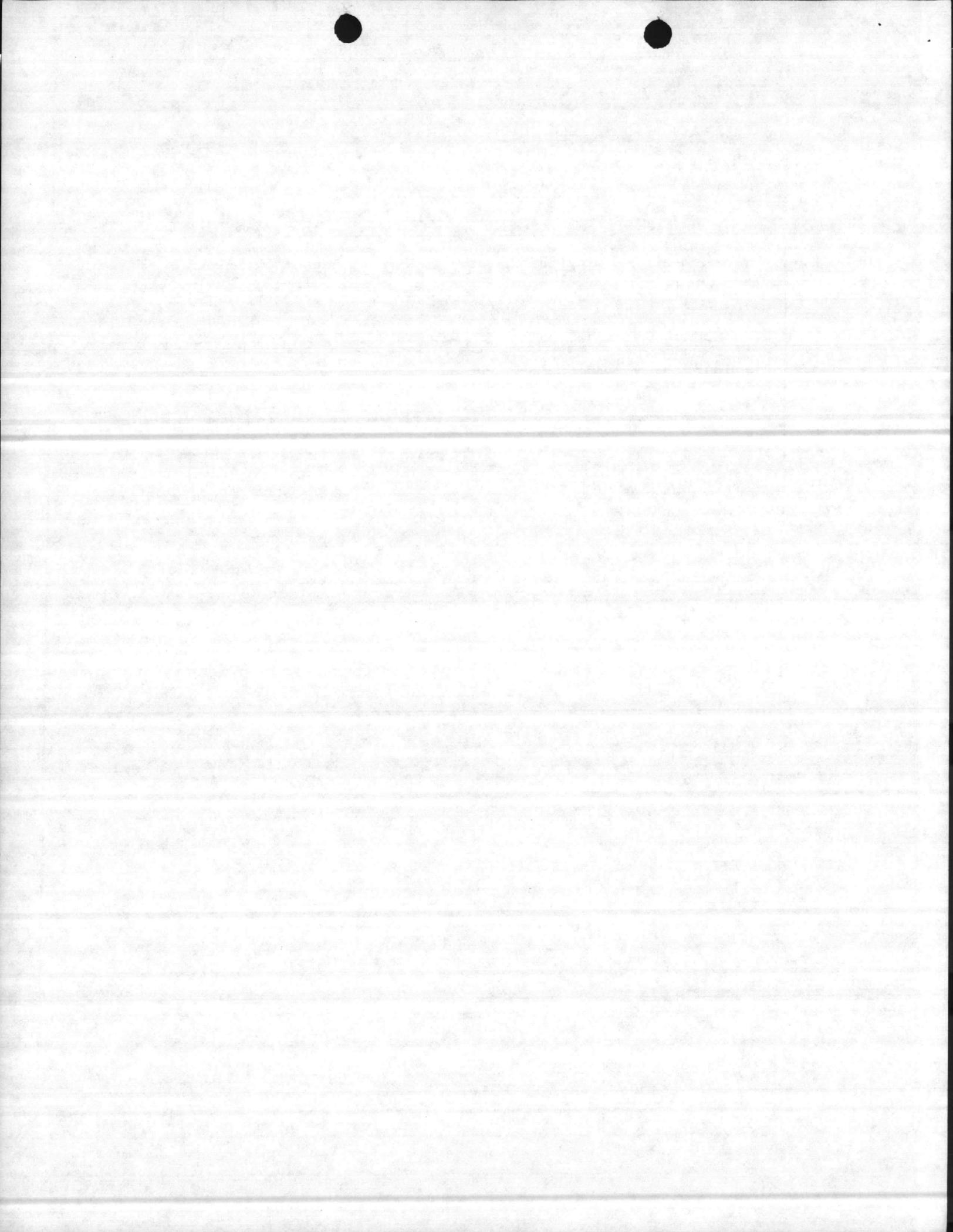
1. COMPONENT NAVY		FY 19 <u>82</u> MILITARY CONSTRUCTION PROJECT DATA		2. DATE 20 Oct 78
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542				
4. PROJECT TITLE LOCATION EXCHANGE, BERKELEY MANOR			5. PROJECT NUMBER P-758	
<p>The book data is escalated to provide the cost for the proposed facility. The contingency factor is 10% and the cost growth factor is computed at 10% per year for the project.</p> <p>5. <u>Justification for Project and for Scope of Project:</u></p> <p>a. <u>Justification for Project:</u></p> <p>(1) <u>Project.</u> Proposed facility is required for troops and personnel living and working in close proximity to the proposed Location Exchange.</p> <p>(2) <u>Current Situation.</u> Location Exchanges are in substandard and minimum facilities, located in or near personnel centers.</p> <p>(3) <u>Impact if Not Provided.</u> Personnel will continue to utilize substandard and minimum facilities which provide inefficient operations and limited services to patrons.</p> <p>b. <u>Justification for Scope of Project:</u></p> <p>(1) The project scope is the minimum size facility that can meet the deficiency requirements for space, Category Code 740-02 (Location Exchange). This will correct the deficiency in the area. See Item 13, Quantitative Data.</p> <p>6. <u>Equipment Provided from Other Appropriations.</u> Not applicable.</p> <p>7. <u>Common Support Facilities.</u> Not applicable. There are no common support facilities available in the area.</p> <p>8. <u>Effect on Other Resources.</u> The project will require approximately \$3,710 per year in increased O&amp;MN funds for increased utility services and operations. No additional personnel will be required to operate this facility. The project will enhance and improve the morale of personnel presently working and living in the vicinity. Proposed construction should be responsive to the challenges presented by the energy situation, and comply with the requirements of Executive Order 12003 of 20 July 1977 and implemented by NAVFACINST 4100.5A.</p> <p style="text-align: center;">UTILITY REQUIREMENTS</p> <p>a. Electricity Consumption <u>55,438</u> KWHR/yr</p>				



1. COMPONENT  NAVY	FY 19 <u>82</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE  20 Oct 78																											
3. INSTALLATION AND LOCATION  MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542																													
4. PROJECT TITLE  LOCATION EXCHANGE, BERKELEY MANOR		5. PROJECT NUMBER  P-758																											
<table style="margin-left: auto; margin-right: auto;"> <tr> <td>Peak Demand</td> <td style="text-align: center;">32</td> <td style="text-align: right;">KW</td> </tr> <tr> <td>Avg Demand</td> <td style="text-align: center;">28</td> <td style="text-align: right;">KW</td> </tr> </table>			Peak Demand	32	KW	Avg Demand	28	KW																					
Peak Demand	32	KW																											
Avg Demand	28	KW																											
<p>b. Steam</p> <table style="margin-left: auto; margin-right: auto;"> <tr> <td>Consumption</td> <td style="text-align: center;">853,376</td> <td style="text-align: right;">lbs/yr</td> </tr> <tr> <td>Demand</td> <td style="text-align: center;">305</td> <td style="text-align: right;">lbs/hr</td> </tr> </table>			Consumption	853,376	lbs/yr	Demand	305	lbs/hr																					
Consumption	853,376	lbs/yr																											
Demand	305	lbs/hr																											
<p>c. Coal</p> <table style="margin-left: auto; margin-right: auto;"> <tr> <td></td> <td style="text-align: center;">33</td> <td style="text-align: right;">tons/yr</td> </tr> </table>				33	tons/yr																								
	33	tons/yr																											
<p>d. Adequate utility requirements are available.</p>																													
9. <u>Siting of the Project:</u>																													
<p>a. Building layout: See enclosure (1)</p>																													
<p>b. Location: See enclosure (2)</p>																													
10. <u>Other Graphic Presentations, including Photographs.</u> None.																													
11. <u>Economic Analysis.</u> The facility is being constructed in a developed area of the Base and the economic saving will be in nominal energy consumption savings to be realized from efficient operations. This is not an operational project requirement.																													
12. <u>Environmental Impact.</u> The project will not cause any additional air or water pollution and energy conservation measures and features have been considered to enhance the design and economics of the facility.																													
13. <u>Quantitative Data.</u>																													
<p>a. <u>BFRL Requirement:</u> NAVFAC P-80 allowance factors for a Location Exchange were used for the Basewide/Miscellaneous (Berkeley Manor) area of the Base. The total BFRL requirement is <u>7,210 SF</u></p>																													
<p>b. <u>Existing Assets:</u> Adequate <u>23,857 SF</u>, Substandard <u>0</u>.</p>																													
<table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;"><u>Building No.</u></th> <th style="text-align: center;"><u>Area SF</u></th> <th style="text-align: left;"><u>Disposition</u></th> </tr> </thead> <tbody> <tr> <td>1985</td> <td style="text-align: center;">4,140</td> <td>To be retained</td> </tr> <tr> <td>LCH-4014</td> <td style="text-align: center;">7,720</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>LCH-4015</td> <td style="text-align: center;">1,100</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>TT-2461</td> <td style="text-align: center;">4,200</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>TT-2467</td> <td style="text-align: center;">1,275</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>TT-2469</td> <td style="text-align: center;">1,275</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>TT-2477</td> <td style="text-align: center;">4,147</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td></td> <td style="text-align: center; border-top: 1px solid black;">23,857</td> <td>Subtotal</td> </tr> </tbody> </table>			<u>Building No.</u>	<u>Area SF</u>	<u>Disposition</u>	1985	4,140	To be retained	LCH-4014	7,720	To be retained & engineer evaluated	LCH-4015	1,100	To be retained & engineer evaluated	TT-2461	4,200	To be retained & engineer evaluated	TT-2467	1,275	To be retained & engineer evaluated	TT-2469	1,275	To be retained & engineer evaluated	TT-2477	4,147	To be retained & engineer evaluated		23,857	Subtotal
<u>Building No.</u>	<u>Area SF</u>	<u>Disposition</u>																											
1985	4,140	To be retained																											
LCH-4014	7,720	To be retained & engineer evaluated																											
LCH-4015	1,100	To be retained & engineer evaluated																											
TT-2461	4,200	To be retained & engineer evaluated																											
TT-2467	1,275	To be retained & engineer evaluated																											
TT-2469	1,275	To be retained & engineer evaluated																											
TT-2477	4,147	To be retained & engineer evaluated																											
	23,857	Subtotal																											



1. COMPONENT NAVY	FY 19 <u>83</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 20 Oct 78												
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542														
4. PROJECT TITLE LOCATION EXCHANGE, BERKELEY MANOR	5. PROJECT NUMBER P-758													
<p>c. <u>Planned Facilities:</u></p> <table border="0"> <thead> <tr> <th><u>FY</u></th> <th><u>Project No.</u></th> <th><u>Area SF</u></th> <th><u>Location</u></th> </tr> </thead> <tbody> <tr> <td>83</td> <td>P-758</td> <td>7,210</td> <td>Berkeley Manor</td> </tr> <tr> <td></td> <td></td> <td>7,210</td> <td>Total Planned Facility</td> </tr> </tbody> </table> <p>14. <u>Funding.</u> Funding will be from the Nonappropriated Fund , Central Construction Fund, HQMC.</p>			<u>FY</u>	<u>Project No.</u>	<u>Area SF</u>	<u>Location</u>	83	P-758	7,210	Berkeley Manor			7,210	Total Planned Facility
<u>FY</u>	<u>Project No.</u>	<u>Area SF</u>	<u>Location</u>											
83	P-758	7,210	Berkeley Manor											
		7,210	Total Planned Facility											



1. COMPONENT NAVY		1980 MILITARY CONSTRUCTION PROJECT DATA NONAPPROPRIATED FUND		2. DATE 29 Aug 1978	
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542			4. PROJECT TITLE LOCATION EXCHANGE - BERKELEY MANOR HSG AREA		
5. PROGRAM ELEMENT		6. CATEGORY CODE 740-02	7. PROJECT NUMBER P-758	8. PROJECT COST (\$000) 496	

9. COST ESTIMATES				
ITEM	U/M	QUANTITY	UNIT COST	COST (\$000)
LOCATION EXCHANGE W/SPECIAL FNDN	SF	7,210	45.35	327
UTILITIES: WATER, ELEC, SEWER, STEAM	LS	-	-	44
PAVEMENT, FLEXIBLE & RIGID	LS	-	-	23
SITE IMPROVEMENTS/EROSION CONTROL	LS	-	-	11
SUBT. COST	LS	-	-	405
CONTINGENCY - 10%	LS	-	-	40
ESTIMATED CONTRACT COST	LS	-	-	445
SUPERVISION, INSPECTION & OVERHEAD - 5.5%	LS	-	-	24
TOTAL REQUEST	LS	-	-	469
INSTALLED EQUIP OTHER APPROPRIATIONS	-	-	-	-
A & E DESIGN FEE - 6%	LS	-	-	27
PROJECT COST	LS	-	-	496

10. DESCRIPTION OF PROPOSED CONSTRUCTION

Single story structure with reinforced concrete foundation and floor, brick veneer masonry walls, built up roof, insulation, air conditioning/heat pump system, utilities connected, pavements, and site improvements.

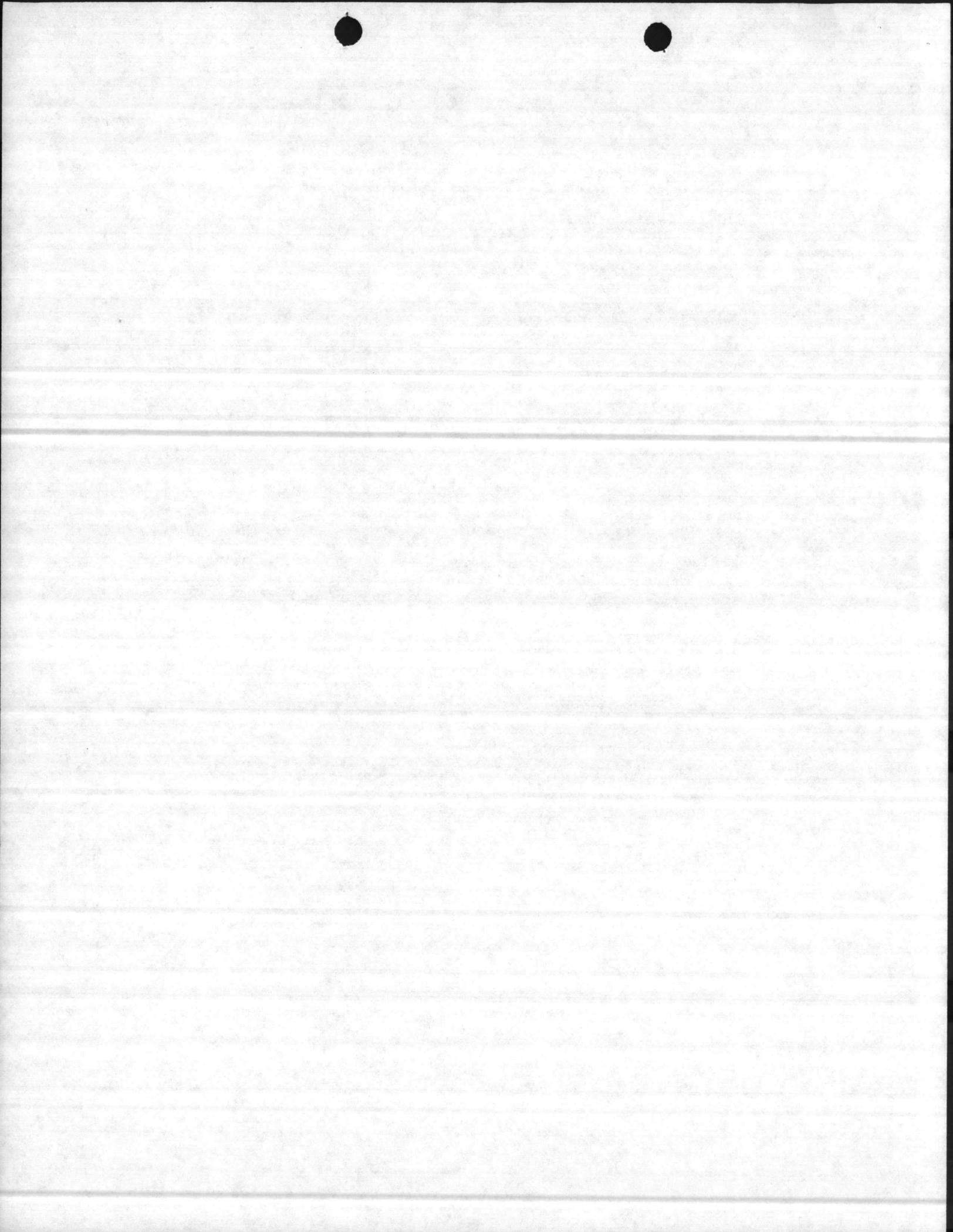
11. REQUIREMENTS 32,717 SF. ADEQUATE: 0 SF. SUBSID 22,672 SF.

PROJECT: Provide a location exchange with snack bar, dry cleaning pick up station, barber shop, utilities, pavements, and site improvement for personnel in the Berkeley Manor Housing Area.

REQUIREMENT: An exchange is required to provide dependents and personnel living in the Berkeley Manor/Paradise Point Housing areas a facility in close proximity to their quarters.

CURRENT SITUATION: Minimum exchange functions are being provided in a small convenience outlet facility with limited display and storage area.

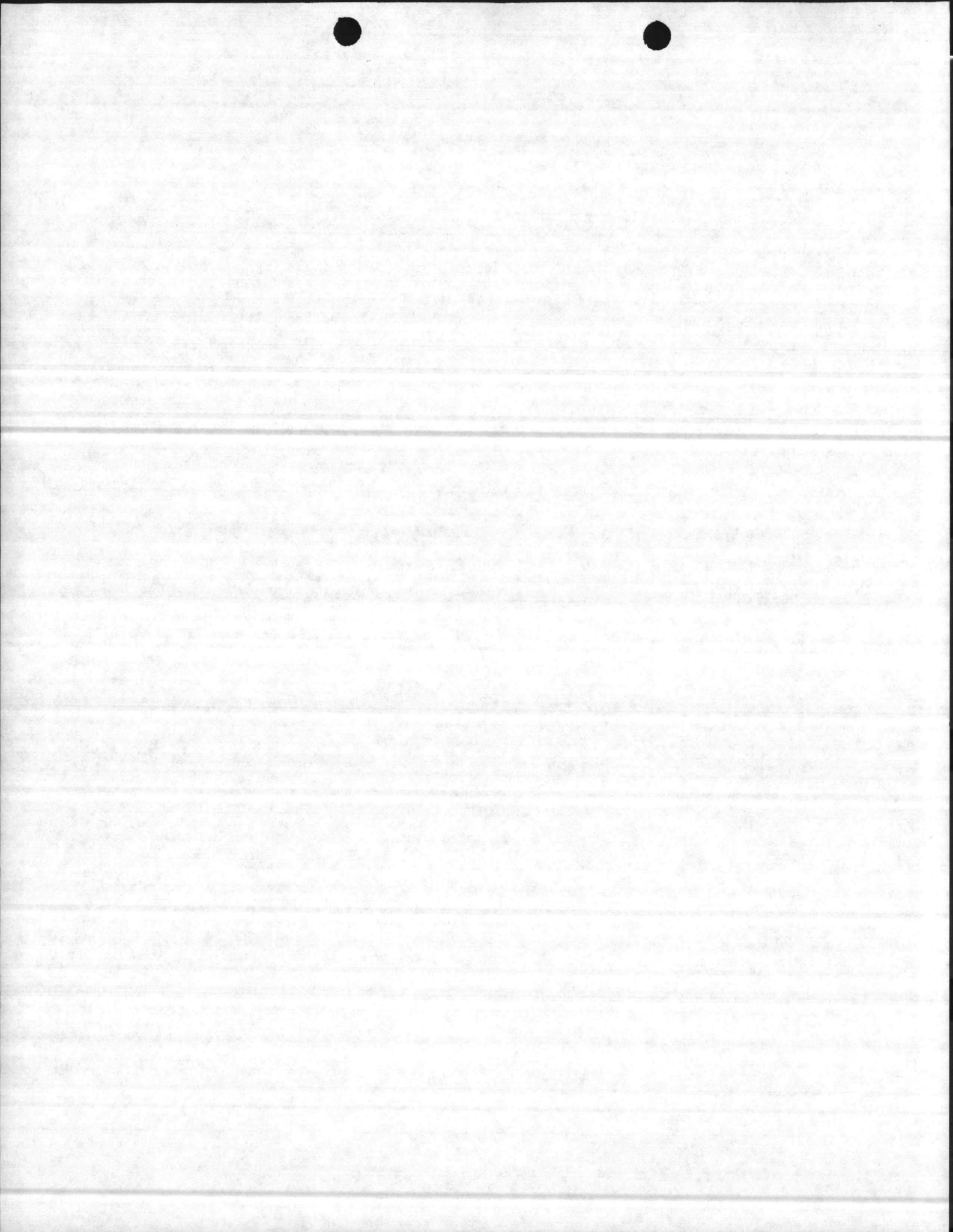
IMPACT IF NOT PROVIDED: Personnel will be compelled to continue to use inadequate facilities and/or travel to the main exchange which is a considerable distance from the area.



1. COMPONENT		2. DATE	
NAVY		29 Aug 78	
3. INSTALLATION AND LOCATION			
MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542			
4. PROJECT TITLE		5. PROJECT NUMBER	
LOCATION EXCHANGE, BERKELEY MANOR HSG AREA		P-758	

SPECIAL CONSIDERATIONS

1. ENVIRONMENTAL IMPACT. An environmental impact assessment has been made and it has been determined that the proposed project will have neither a significant impact on the environment nor is it highly controversial.
2. PRESERVATION OF HISTORIAL SITES AND STRUCTURES. The project facilities do not directly or indirectly affect a district, site, building, structure, object, or setting which is listed in the National Register or otherwise possesses a significant quality of American history.
3. FALLOUT SHELTER CONSTRUCTION. Fallout shelter excluded - impairment of project purpose.
4. FLOOD HAZARDS. Requirements of Executive Order No. 11296 (Flood Hazards) are not applicable.
5. POLLUTION PREVENTION, ABATEMENT, AND CONTROL. This project will not cause additional air or water pollution.
6. DESIGN FOR ACCESSIBILITY OF PHYSICALLY HANDICAPPED PERSONNEL. Consideration shall be given for accessibility of physically handicapped personnel.
7. USE OF AIR CONDITIONING. Ceiling "U" factors will be made to conform with DOD 4270.1-M.



IDENTIFICATION NUMBER

P-758

0105 013 3800

CATEGORY CODE NUMBER

740-02

AREA OR NO

5th ND

MARINE CORPS BASE

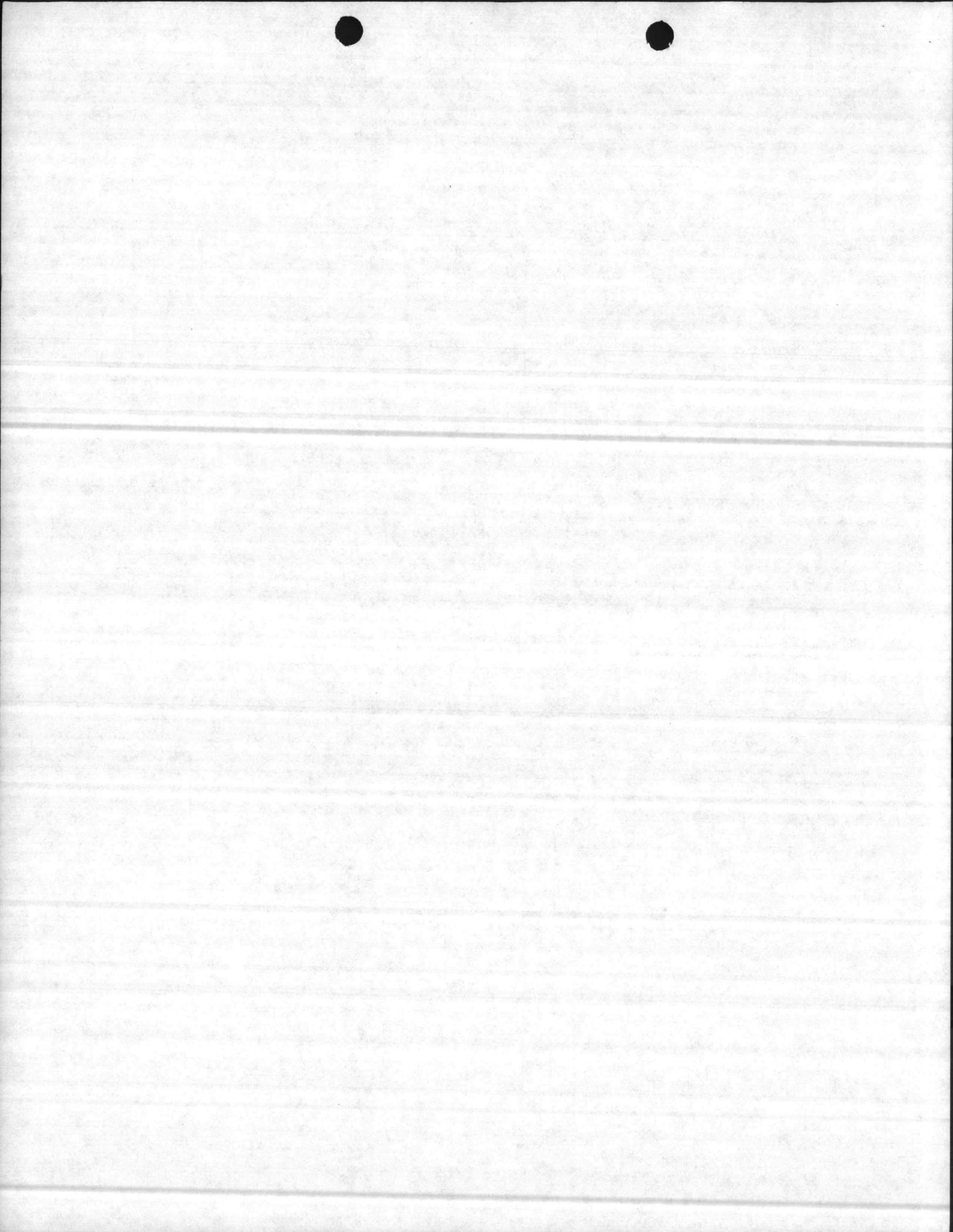
LOCATION

CAMP LEJEUNE, N.C.

PROJECT (Or Line Item) TITLE

LOCATION EXCHANGE, BERKELEY MANOR HSG AREA

ITEM (OR FEATURE) DESCRIPTION (Abbreviate if necessary)	QUANTITIES		MATERIAL COSTS		LABOR COSTS		ENGINEERING ESTIMATE	
	NO. OF UNITS	UNIT	UNIT COST	COST	UNIT COST	COST	UNIT COST	COST
1	2	3	4	5	6	7	8	9
4"Reinf. conc. slab, ftgs, piling, etc.		LS		10,980		3,620		14,600
Brick, face, sand/clay	39,750	EA	.18	7,155	.52	20,670	.70	27,825
CMU, 6" w/insulation	2,500	EA	.58	1,450	1.64	4,100	2.22	5,550
Insul, wall, rigid	2,000	SF	.36	720	.17	340	.53	1,060
Bar joist	5	TN	714.	3,570	183.	915	897.	4,485
Struct. stl.	6	TN	760.	4,560	195.	1,170	955.	5,730
Col., stl. pipe, 4"	1,000	LB	.40	400	.15	150	.55	550
Deck, mtl., roof	7,210	SF	.85	6,129	.65	4,687	1.50	10,816
Roof, built-up	73	SQ	.56	4,088	29.	2,117	85.	6,205
Flashing, copper	530	SF	2.38	1,261	1.59	843	3.97	2,104
Insul., rigid, 2"	7,210	SF	.71	5,119	.35	2,524	1.06	7,643
Tile, accoust., clg.	7,210	SF	1.16	8,364	.63	4,542	1.79	12,906
Insul., batt, clg.	7,210	SF	.71	5,119	.37	2,668	1.08	7,887
Tile, vinyl asb.	3,000	SF	1.06	3,180	.48	1,440	1.54	4,620
Hemgatile Fl.	4,210	SF	1.42	5,978	.95	4,000	2.37	9,978
Dr., entr., al., dbl., w/frames & hdw.	4	EA	1,060.	4,240	610.	2,440	1,670.	6,680
Dr., H.M., ext., dbl., w/frames & hdw.	4	EA	670	2,680	250.	1,000	920.	3,680
Dr., H.M., int.	6	EA	190	1,140	120.	720	310.	1,860
Partitions, wall, int.	260	LF	24.35	6,331	14.05	3,653	38.40	9,984
Stalls, mtl., toilet	8	EA	237.	1,896	82.	656	319.	2,552
Downspout, mtl. copper	168	LF	6.50	1,092	.85	143	7.35	1,235
Scuppers, mtl. copper	12	EA	78.	936	28.	336	106.	1,272
Canopy, al., 6"	114	LF	13	1,482	9.	1,026	22.	2,508
Painting	4,400	SF	.18	792	.42	1,848	.60	2,640
<u>Electrical</u>								
Transf. 150 KVA w/accys	2	EA	3,880.	7,760	835.	1,670	4,715.	9,430
400 Amp. pnls & pnl., lgt, w/bkrs, etc.	3	LS	1,220	3,660	170.	1,390	1,390	4,170
Fluor. fix, 4T96	90	EA	117	10,530	32.	2,880	149.	13,410
Recept., elect.	60	EA	6.00	360	9.50	570	15.50	930
MV fix., ext. w/pole	8	EA	5.70	4,560	380.	3,040	950.	7,600
Misc. wiring & cond.		LS		2,225		4,290		6,515
Fire protection system lights & alarm		LS		2,360		1,060		3,420



COST ESTIMATING FORM  
NAVDOKCS 2417 (REV. 5-63)

IDENTIFICATION NUMBER  
**P-758**

0105 013 3800

AREA OR NO. <b>5th ND</b>	LOCATION <b>MARINE CORPS BASE</b>	LOCATION <b>CAMP LEJEUNE, N.C.</b>	CATEGORY CODE NUMBER <b>740-02</b>
------------------------------	--------------------------------------	---------------------------------------	---------------------------------------

PROJECT (Or line item) TITLE  
**LOCATION EXCHANGE, BERKELEY MANOR HSG AREA**

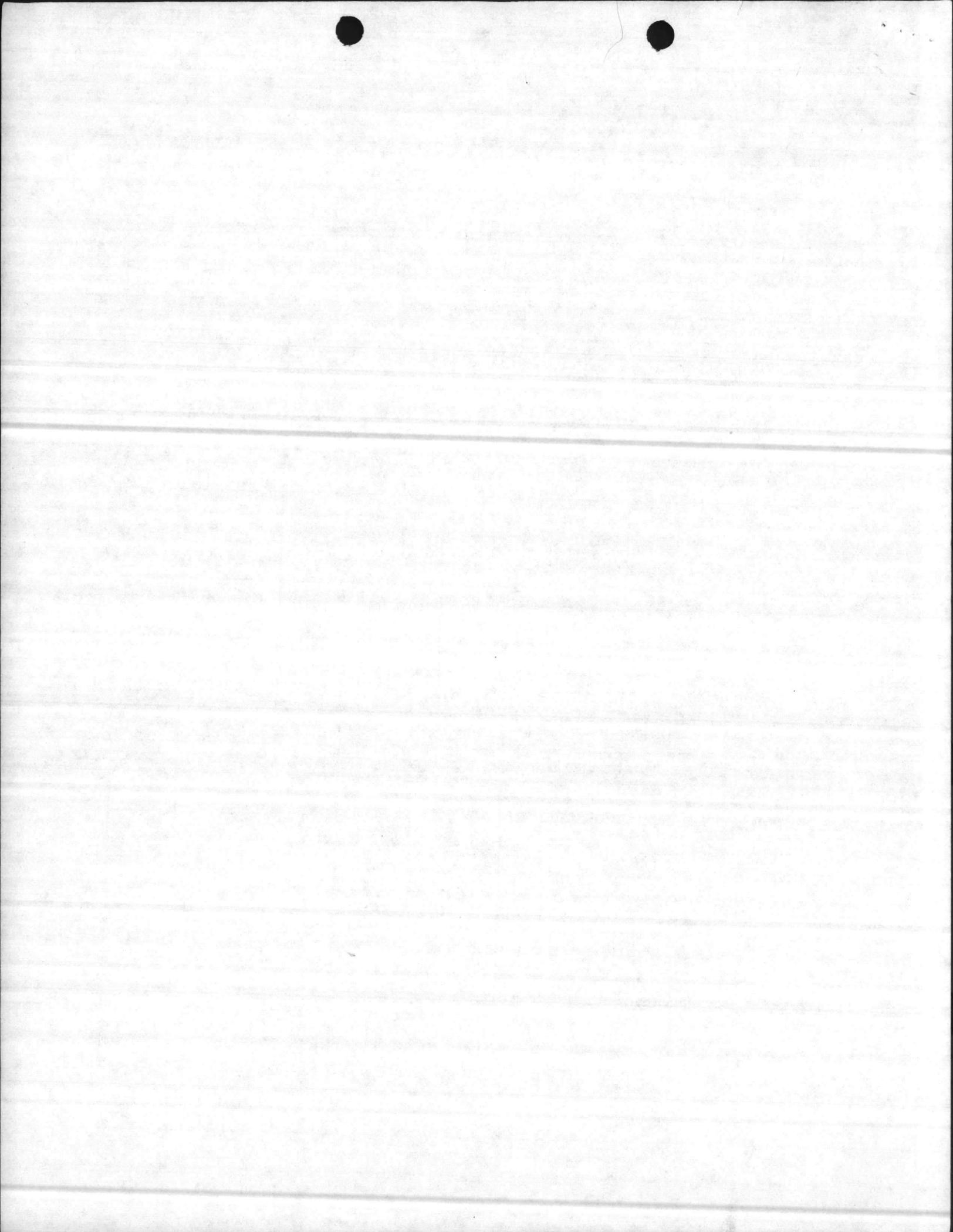
ITEM (OR FEATURE) DESCRIPTION (Abbreviate if necessary)	QUANTITIES		MATERIAL COSTS		LABOR COSTS		ENGINEERING ESTIMATE	
	NO. OF UNITS	UNIT	UNIT COST	COST	UNIT COST	COST	UNIT COST	COST
1	2	3	4	5	6	7	8	9
<u>Heat., A/C &amp; Vent</u>								
35 TN heat pump, controls, resistor coils w/insulated duct, diff. & grilles	4	LS		32,945		16,090		49,035
Exh. fan, w/hood		EA	475	1,900	125	500	600	2,400
Misc. hoods & fans for soda fountain, etc.		LS		2,710		795		3,505
<u>Plumbing</u>								
Toilet fix. w/piping	4	EA	295	1,180	285	1,140	580	2,320
Fl. drains w/piping	8	EA	238	1,904	160	1,280	398	3,184
Elect. drink ftn. & acc.	2	EA	495	990	170	340	665	1,330
Hot water heater, storage, 1,000 gal.	1	EA		3,200		390		3,590
<u>Site Work</u>								
Paving, sub-base, grading & escav.		LS		8,870		8,200		17,070
Utilities to site location		LS		9,050		6,070		15,120
Clearing & grubbing		LS		3,500		4,350		7,750
<b>SUBTOTALS</b>				<b>186,366</b>		<b>118,683</b>		<b>305,049</b>
OVERHEAD - 15%								45,757
INS., TAXES, ETC. - 12% LABOR								14,242
<b>SUBTOTAL</b>								<b>364,048</b>
PROFIT - 10%								36,405
<b>SUBTOTAL</b>								<b>400,453</b>
BOND - 1.0%								4,005
<b>SUBTOTAL</b>								<b>404,457</b>
CONTINGENCY - 10%								40,446
<b>SUBTOTAL</b>								<b>444,903</b>
S.I.O.H. 5.5%								24,470
<b>SUBTOTAL</b>								<b>469,373</b>
TOTAL PROJECT ESTIMATE								26,694
A & E DESIGN FEE								496,067

DELMAR D. WEAVER

R. H. KERLEY, P.E.

PUBLIC WORKS DEPT.

29 Aug 1964



1. COMPONENT NAVY	FY 1979 MILITARY CONSTRUCTION PROJECT DATA NONAPPROPRIATED FUND	2. DATE 29 Aug 1978
----------------------	--	------------------------

3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542	4. PROJECT TITLE LOCATION EXCHANGE - BERKELEY MANOR HSG AREA
---	--

5. PROGRAM ELEMENT	6. CATEGORY CODE 740-02	7. PROJECT NUMBER P-758	8. PROJECT COST (\$000) 496
--------------------	----------------------------	----------------------------	--------------------------------

9. COST ESTIMATES				
ITEM	U/M	QUANTITY	UNIT COST	COST (\$000)
LOCATION EXCHANGE W/SPECIAL FNDN	SF	7,210	45.35	327
UTILITIES: WATER, ELEC, SEWER, STEAM	LS	-	-	44
PAVEMENT, FLEXIBLE & RIGID	LS	-	-	23
SITE IMPROVEMENTS/EROSION CONTROL	LS	-	-	11
SUBT. COST	LS	-	-	405
CONTINGENCY - 10%	LS	-	-	40
ESTIMATED CONTRACT COST	LS	-	-	445
SUPERVISION, INSPECTION & OVERHEAD - 5.5%	LS	-	-	24
TOTAL REQUEST	LS	-	-	469
INSTALLED EQUIP OTHER APPROPRIATIONS	-	-	-	-
A & E DESIGN FEE - 6%	LS	-	-	27
PROJECT COST	LS	-	-	496

10. DESCRIPTION OF PROPOSED CONSTRUCTION

Single story structure with reinforced concrete foundation and floor, brick veneer masonry walls, built up roof, insulation, air conditioning/heat pump system, utilities connected, pavements, and site improvements.

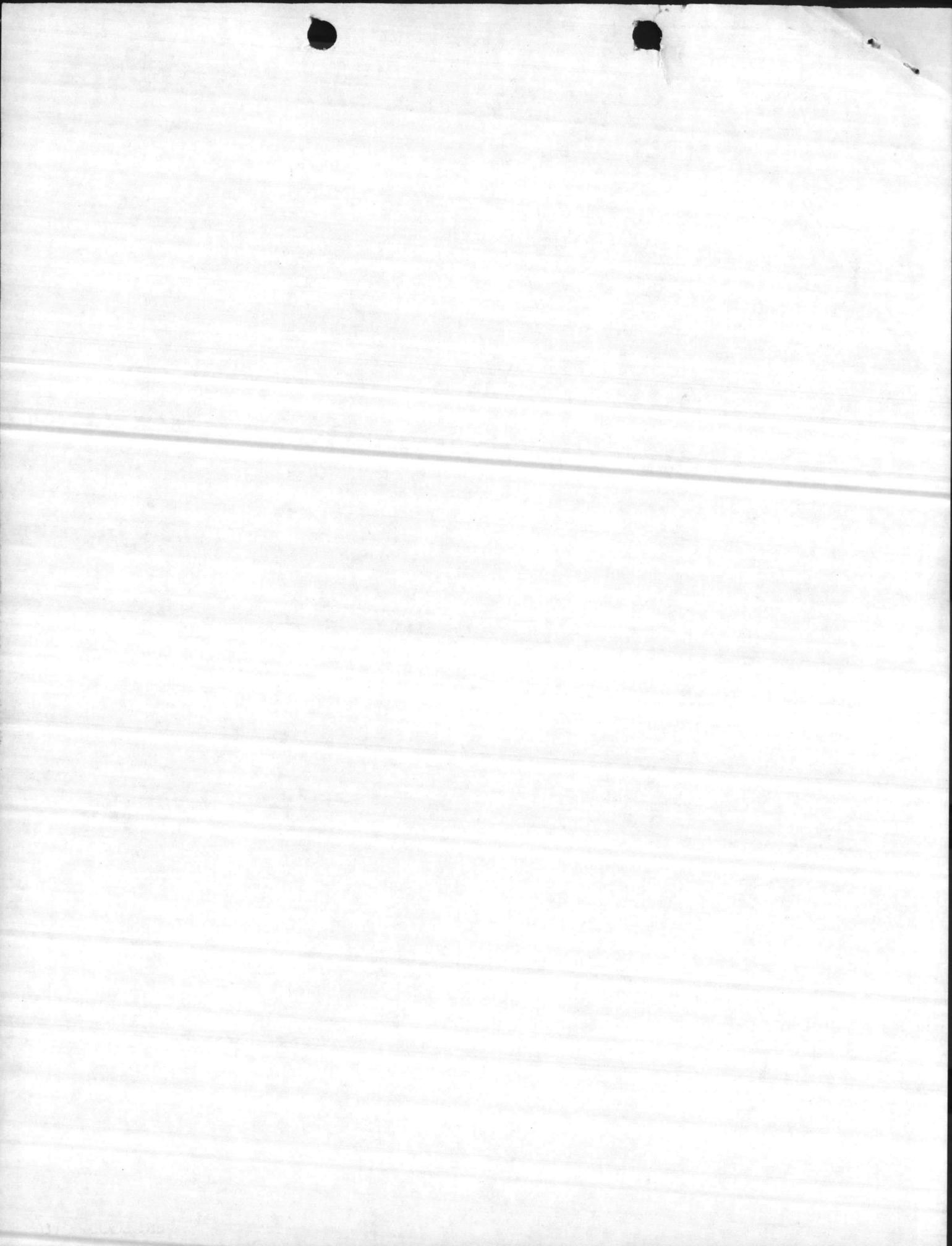
11. REQUIREMENTS 32,717 SF. ADEQUATE: 0 SF. SUBSTD 22,672 SF.

PROJECT: Provide a location exchange with snack bar, dry cleaning pick up station, barber shop, utilities, pavements, and site improvement for personnel in the Berkeley Manor Housing Area.

REQUIREMENT: An exchange is required to provide dependents and personnel living in the Berkeley Manor/Paradise Point Housing areas a facility in close proximity to their quarters.

CURRENT SITUATION: Minimum exchange functions are being provided in a small convenience outlet facility with limited display and storage area.

IMPACT IF NOT PROVIDED: Personnel will be compelled to continue to use inadequate facilities and/or travel to the main exchange which is a considerable distance from the area.



1. COMPONENT

NAVY

FY 1982 MILITARY CONSTRUCTION PROJECT DATA

2. DATE

29 Aug 78

3. INSTALLATION AND LOCATION

MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

4. PROJECT TITLE

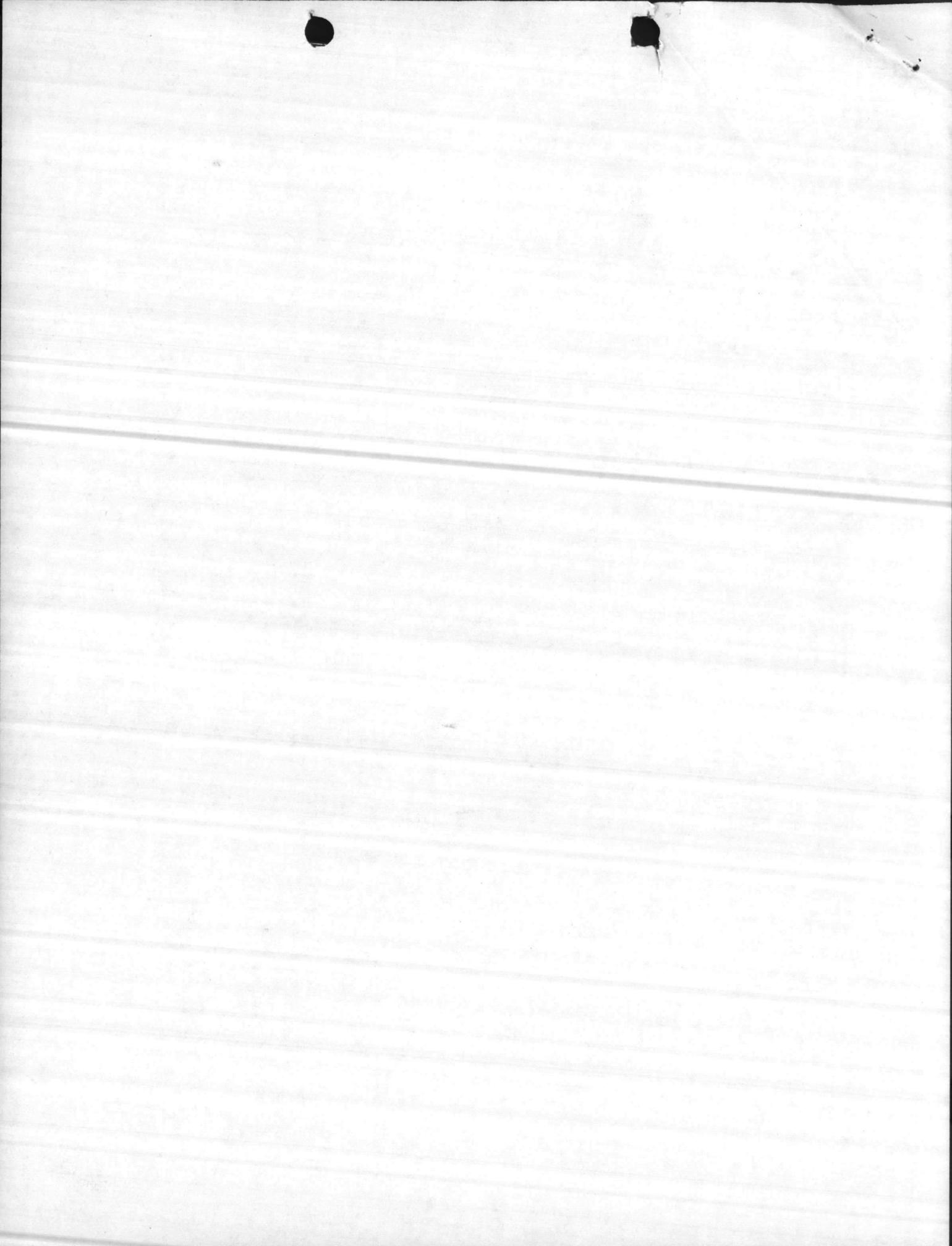
LOCATION EXCHANGE, BERKELEY MANOR HSG AREA

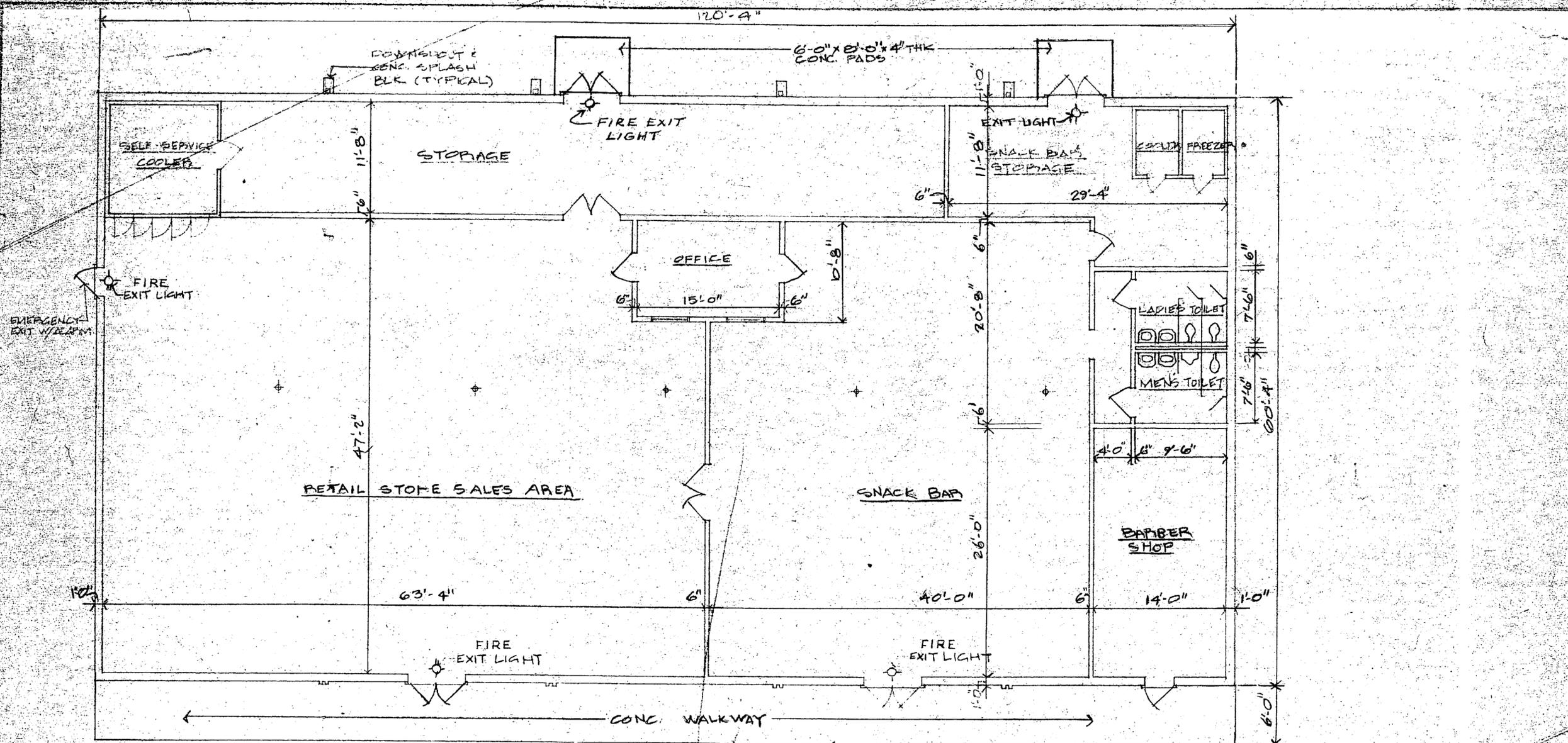
5. PROJECT NUMBER

P-758

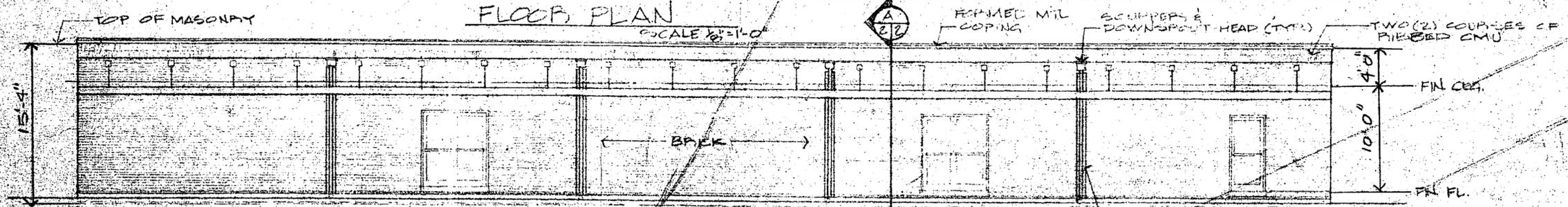
SPECIAL CONSIDERATIONS

1. ENVIRONMENTAL IMPACT. An environmental impact assessment has been made and it has been determined that the proposed project will have neither a significant impact on the environment nor is it highly controversial.
2. PRESERVATION OF HISTORIAL SITES AND STRUCTURES. The project facilities do not directly or indirectly affect a district, site, building, structure, object, or setting which is listed in the National Register or otherwise possesses a significant quality of American history.
3. FALLOUT SHELTER CONSTRUCTION. Fallout shelter excluded - impairment of project purpose.
4. FLOOD HAZARDS. Requirements of Executive Order No. 11296 (Flood Hazards) are not applicable.
5. POLLUTION PREVENTION, ABATEMENT, AND CONTROL. This project will not cause additional air or water pollution.
6. DESIGN FOR ACCESSIBILITY OF PHYSICALLY HANDICAPPED PERSONNEL. Consideration shall be given for accessibility of physically handicapped personnel.
7. USE OF AIR CONDITIONING. Ceiling "U" factors will be made to conform with DOD 4270.1-M.

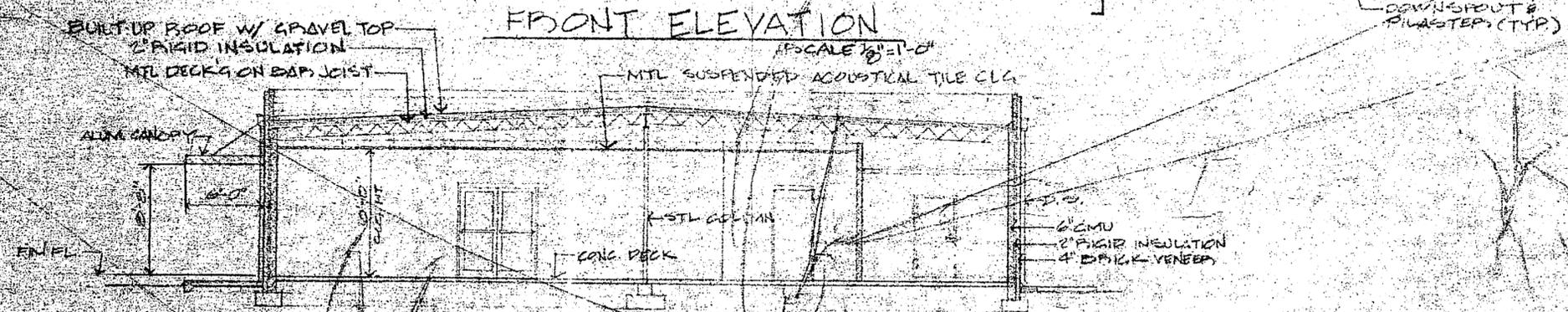




FLOOR PLAN  
SCALE 1/8" = 1'-0"

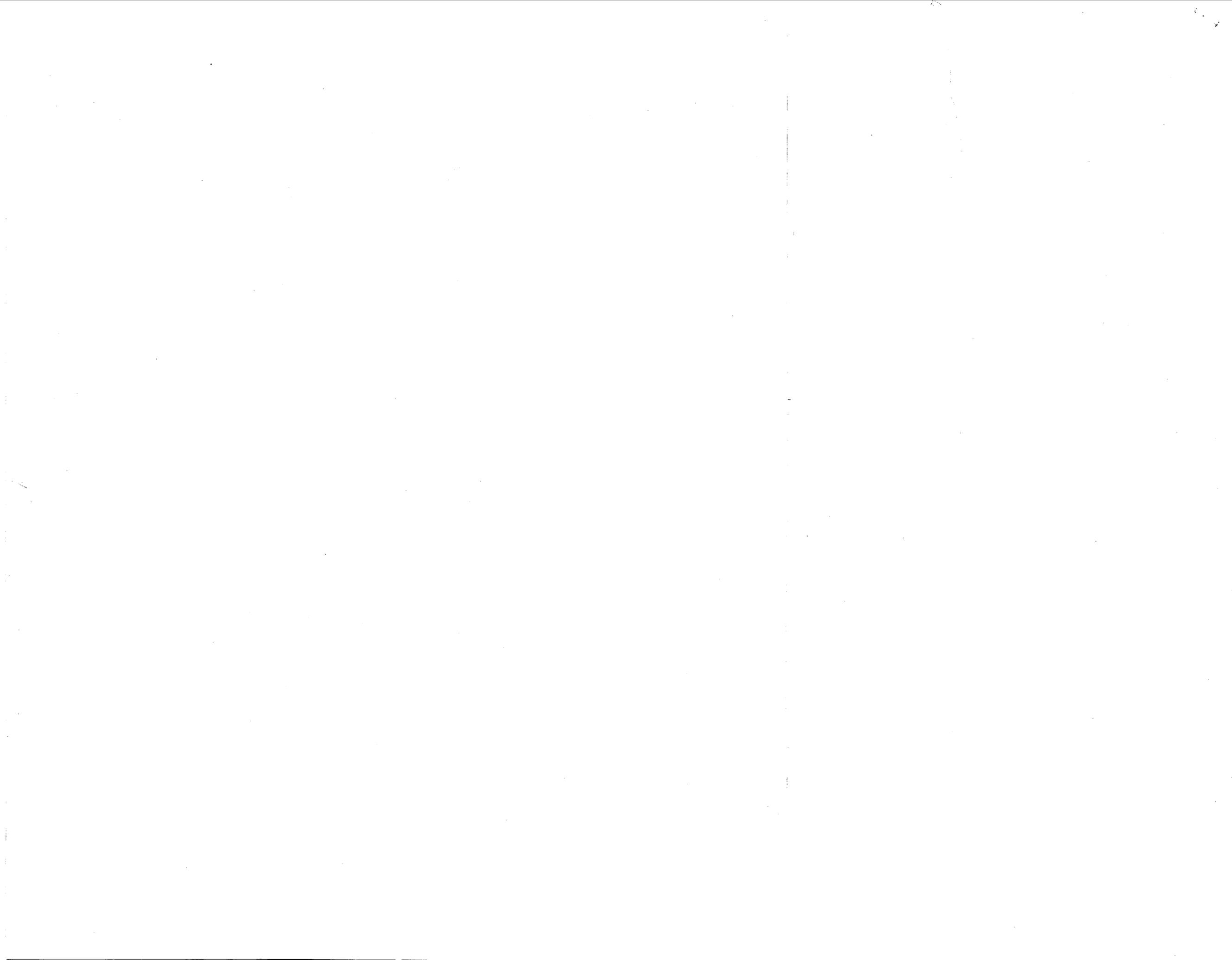


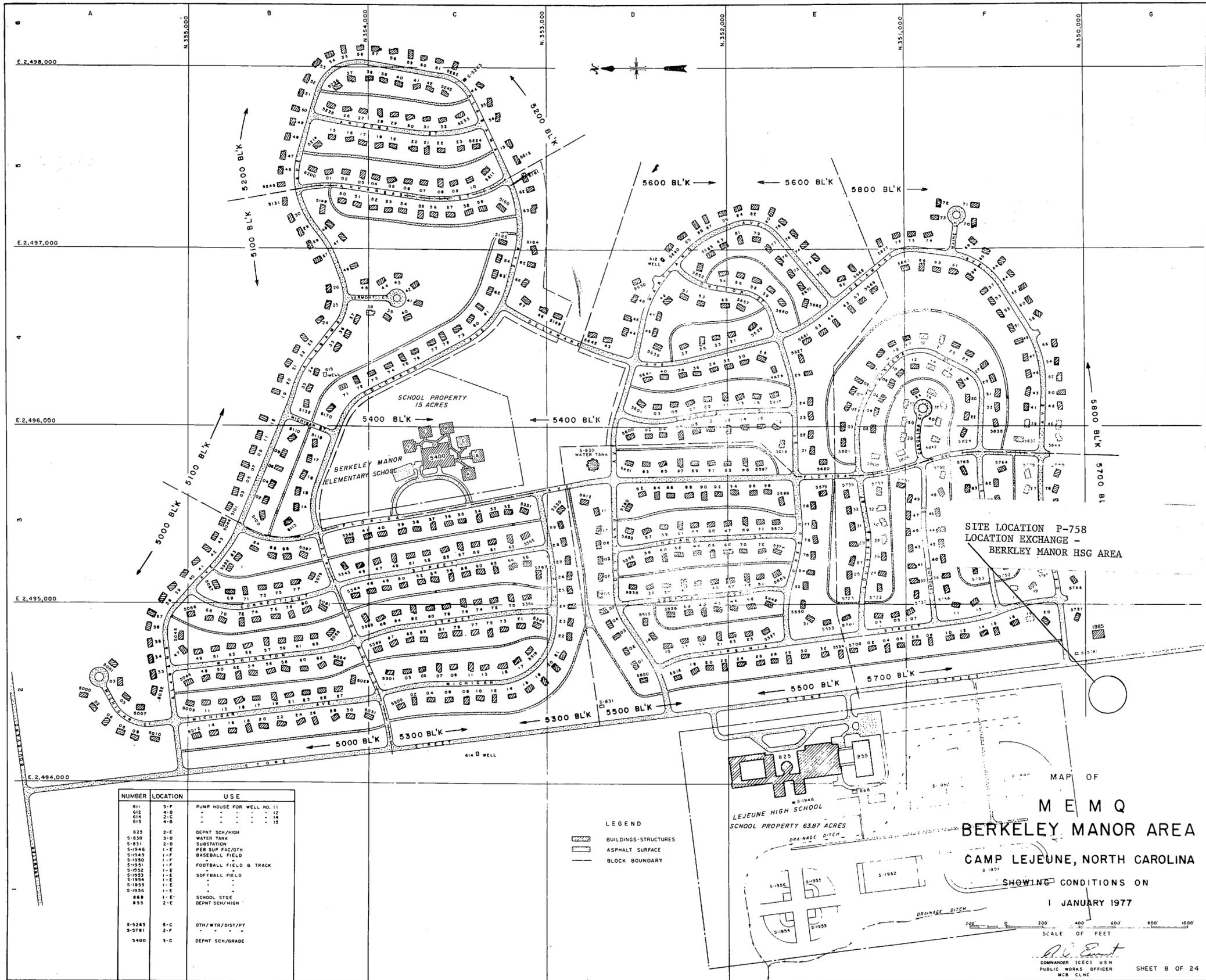
FRONT ELEVATION  
SCALE 1/8" = 1'-0"



SECTION A-A  
SCALE 1/8" = 1'-0"

PROJ. DRAWING NO. <b>14017</b>	MARINE CORP. BASE CAMP LEJEUNE NORTH CAROLINA
DES. BY <b>318</b>	P-758 CONSTRUCT LOCATION EXCHANGE
CHKD. BY <b>318</b>	BERKELEY MANOR AREA
DATE <b>9/8/78</b>	FLOOR PLAN, ELEV. & SECTION
APPROVED BY <i>[Signature]</i>	SCALE 1/8" = 1'-0"
CONTRACT WORKS OFFICER	SHEET 3 OF 3





NUMBER	LOCATION	USE
611	3-F	PUMP HOUSE FOR WELL NO. 11
612	4-D	" " " " " " " "
613	2-C	" " " " " " " "
614	4-B	" " " " " " " "
615	4-B	" " " " " " " "
825	2-E	DEPT SCH/HIGH
S-830	3-D	WATER TANK
S-831	2-D	SUBSTATION
S-1046	1-E	PER SUP FAC/OTH
S-1048	1-F	BASEBALL FIELD
S-1050	1-F	FOOTBALL FIELD & TRACK
S-1051	1-F	" " " " " " " "
S-1052	1-E	SOFTBALL FIELD
S-1053	1-E	" " " " " " " "
S-1054	1-E	" " " " " " " "
S-1055	1-E	" " " " " " " "
S-1056	1-E	" " " " " " " "
868	1-E	SCHOOL STGE
855	2-C	DEPT SCH/HIGH
S-5283	5-C	OTH/WTR/DIST/PT
S-5781	2-F	" " " " " " " "
5400	3-C	DEPT SCH/GRADE

LEGEND  
 [Symbol] BUILDINGS-STRUCTURES  
 [Symbol] ASPHALT SURFACE  
 [Symbol] BLOCK BOUNDARY

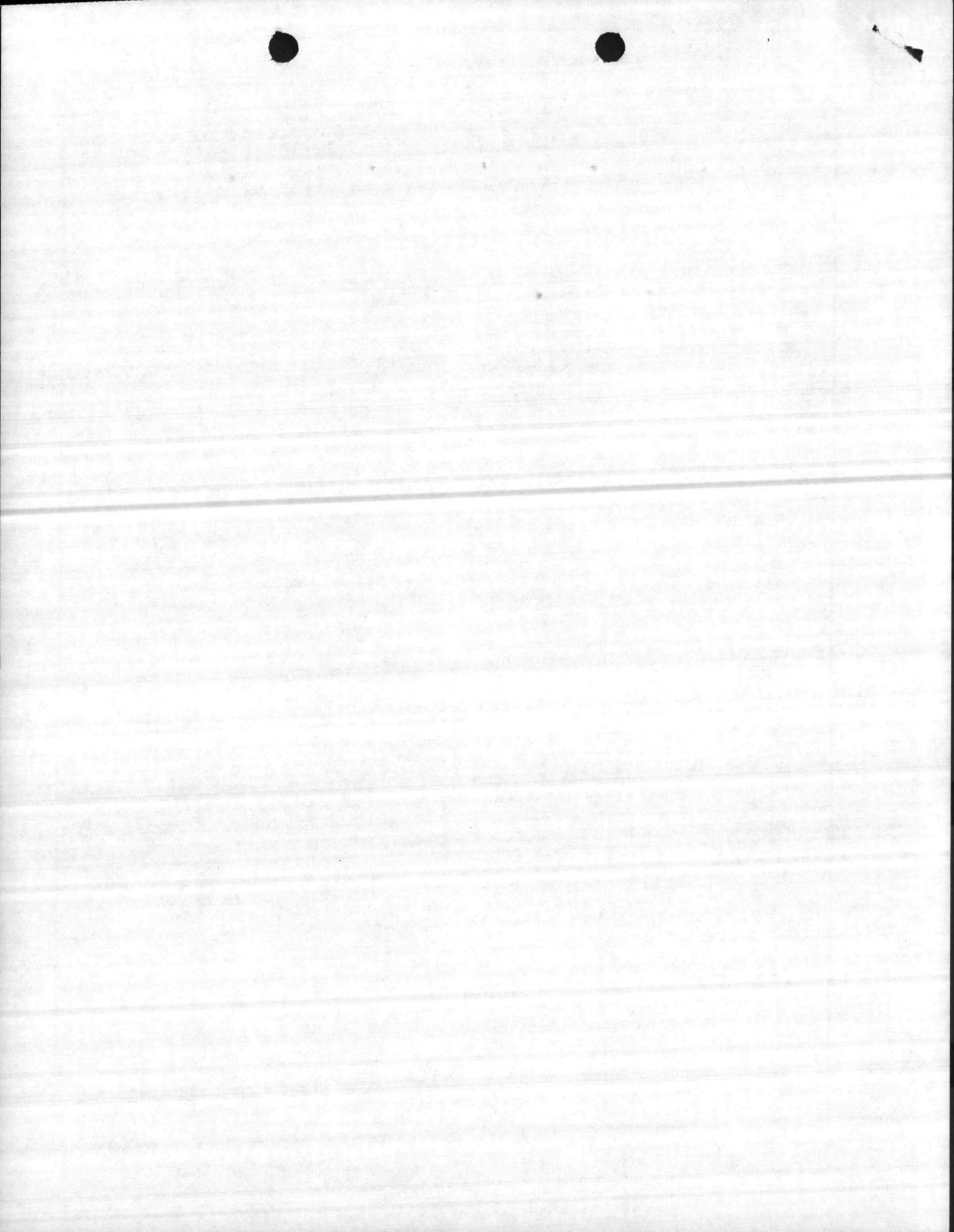
SITE LOCATION P-758  
 LOCATION EXCHANGE -  
 BERKLEY MANOR HSG AREA

MAP OF  
**M E M Q**  
**BERKELEY MANOR AREA**  
 CAMP LEJEUNE, NORTH CAROLINA  
 SHOWING CONDITIONS ON  
 1 JANUARY 1977

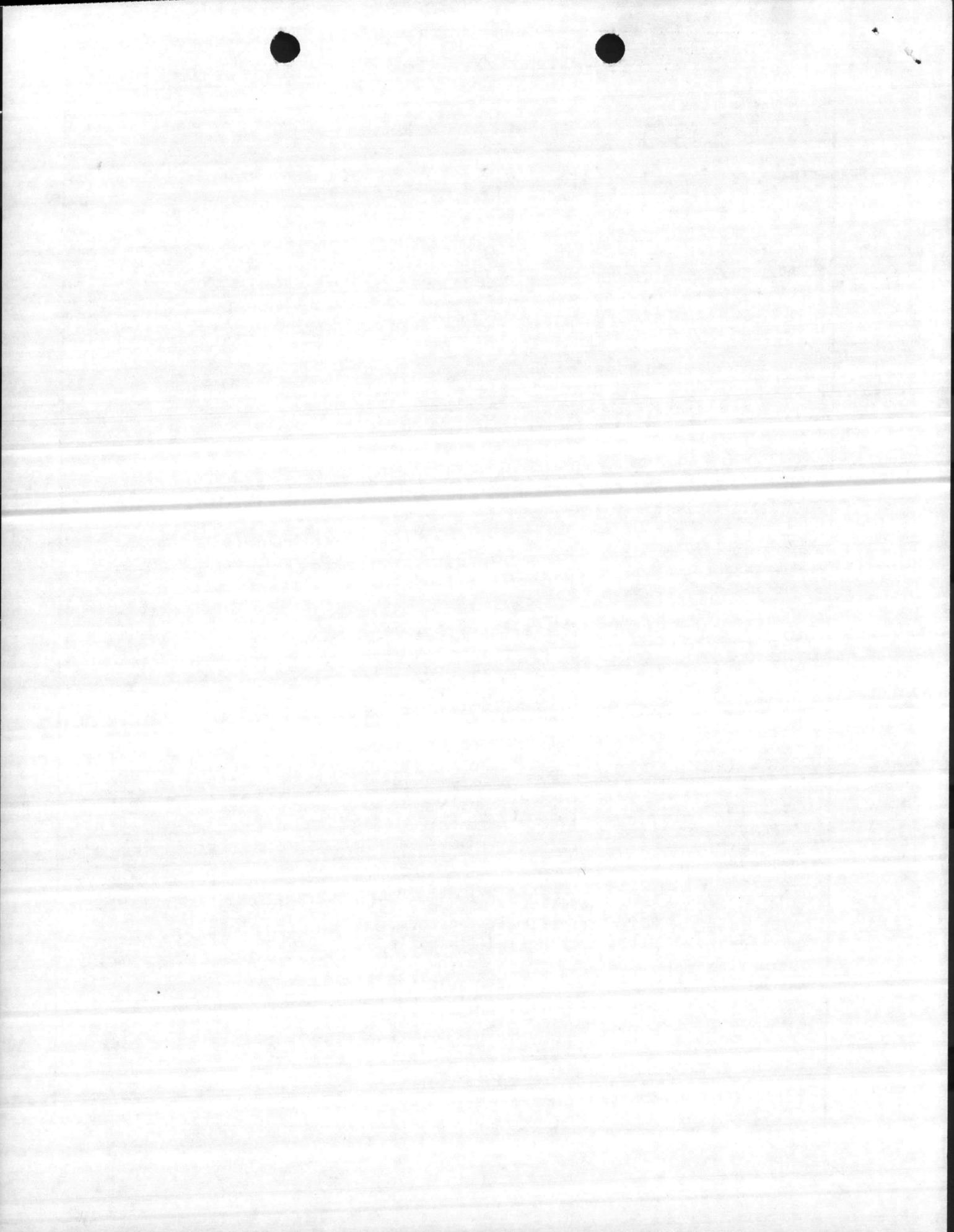
SCALE OF FEET  
 0 200 400 600 800 1000  
 COMMANDER (ECCT) USMC  
 PUBLIC WORKS OFFICER  
 MCB CLNC



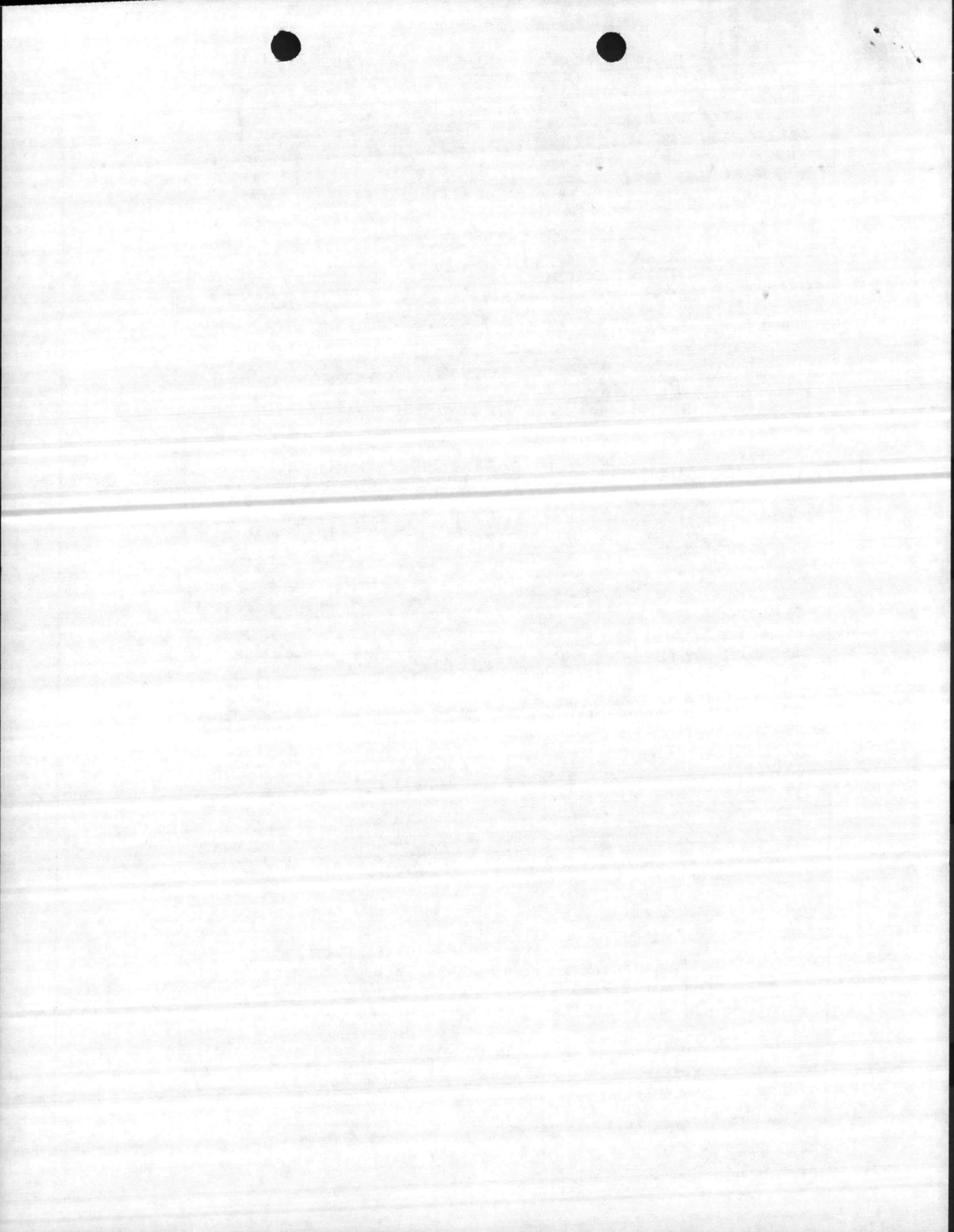
1. COMPONENT NAVY	FY 19 <u>82</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 20 Oct 78
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE LOCATION EXCHANGE, BERKELEY MANOR	5. PROJECT NUMBER P-758	
<p style="text-align: center;"><u>FACILITY STUDY</u></p> <p>1. <u>Project</u>. Provides a Location Exchange for personnel working and living in the area.</p> <p>2. <u>Current and Planned Future Workload with Regard to This Project</u>. The facilities will be utilized on an 8 hour day basis seven days a week. The duration of need for this facility is indefinite.</p> <p>3. <u>Description of Proposed Construction:</u></p> <p style="padding-left: 40px;">a. <u>Type of Construction</u>. One-story modular steel frame, reinforced concrete, special foundation, masonry walls, concrete floors, built-up roof, insulation, interior utility systems, rigid and flexible pavements, security lighting, utility connections, site improvement. etc.</p> <p style="padding-left: 40px;">b. <u>Replacement</u>. Not applicable.</p> <p style="padding-left: 40px;">c. <u>Description of Work to be Done</u>.</p> <p style="padding-left: 80px;">(1) <u>Primary Facility</u>. Modular steel frame, reinforced concrete/masonry structure on special foundation.</p> <p style="padding-left: 80px;">(2) <u>Support Facility</u>. Pavements, lighting and site improvement.</p> <p style="padding-left: 80px;">(3) <u>Energy Conservation</u>. This project will utilize energy efficient equipment and building orientation for maximum energy conservation.</p> <p style="padding-left: 80px;">(4) <u>Collateral Equipment</u>.</p> <p style="padding-left: 80px;">(a) <u>Built-in</u>: venetian blinds, window screens and doors, drinking water coolers, telephone, fire alarm, sprinkler and intercom systems, plumbing, heating, ventilating and air-conditioning systems. (The foregoing items are considered in the project cost estimate for the facility reflected on the 1391.)</p> <p style="padding-left: 80px;">(b) <u>Expense Items</u>: will be non-appropriated fund supplied equipment.</p> <p style="padding-left: 80px;">(5) <u>Supporting Facilities</u>. Special foundation, pollution abatement, site improvements, etc.</p> <p>4. <u>Cost Estimates</u>. Area cost factor for Camp Lejeune, N. C. is 1.00, NAVFAC P-448 (Feb 1976), Military Construction Cost Engineering Data.</p>		



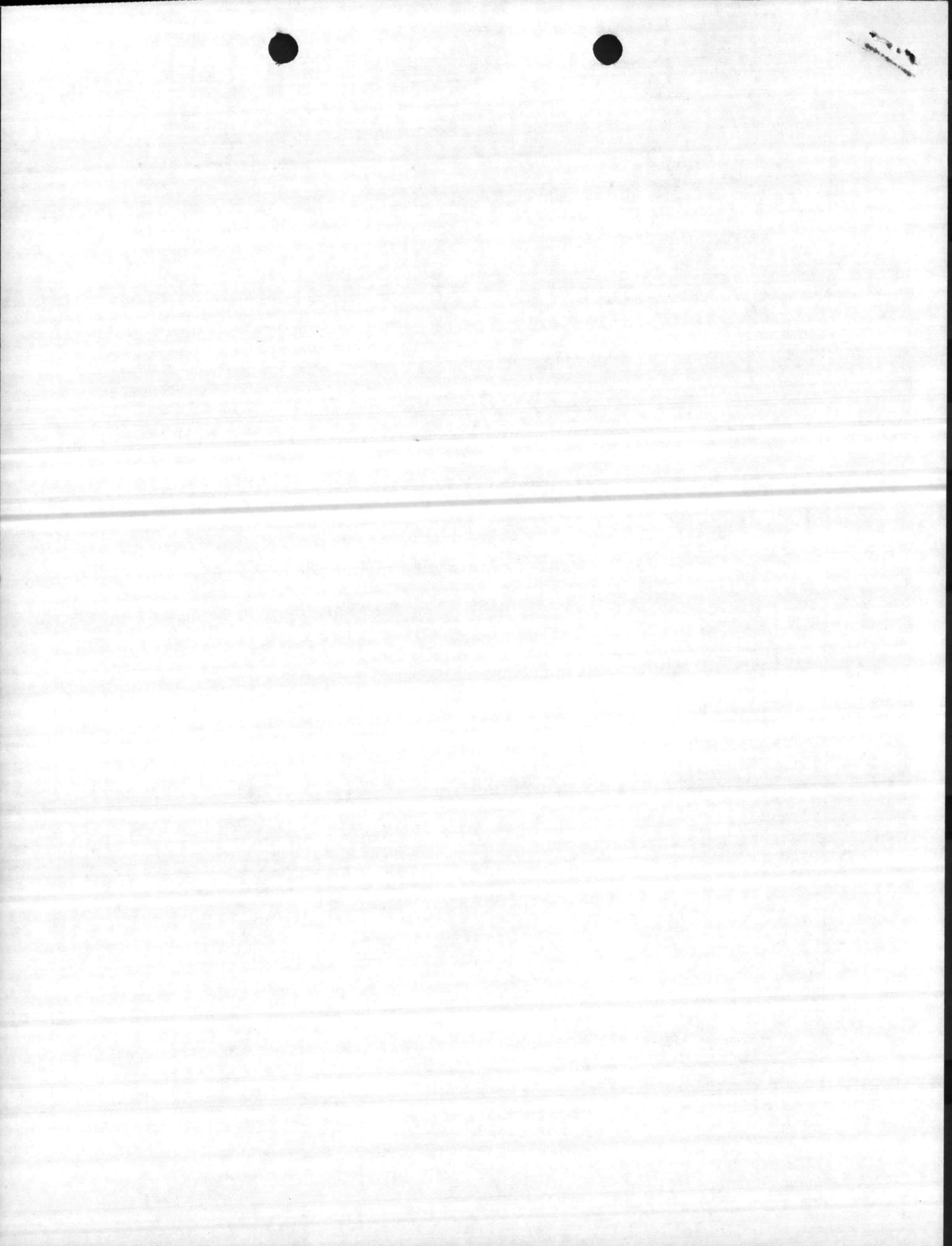
1. COMPONENT NAVY	FY 19 <u>82</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 20 Oct 78
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE LOCATION EXCHANGE, BERKELEY MANOR	5. PROJECT NUMBER P-758	
<p>The book data is escalated to provide the cost for the proposed facility. The contingency factor is 10% and the cost growth factor is computed at 10% per year for the project.</p> <p>5. <u>Justification for Project and for Scope of Project:</u></p> <p>a. <u>Justification for Project:</u></p> <p>(1) <u>Project</u>. Proposed facility is required for troops and personnel living and working in close proximity to the proposed Location Exchange.</p> <p>(2) <u>Current Situation</u>. Location Exchanges are in substandard and minimum facilities, located in or near personnel centers.</p> <p>(3) <u>Impact if Not Provided</u>. Personnel will continue to utilize substandard and minimum facilities which provide inefficient operations and limited services to patrons.</p> <p>b. <u>Justification for Scope of Project:</u></p> <p>(1) The project scope is the minimum size facility that can meet the deficiency requirements for space, Category Code 740-02 (Location Exchange). This will correct the deficiency in the area. See Item 13, Quantitative Data.</p> <p>6. <u>Equipment Provided from Other Appropriations</u>. Not applicable.</p> <p>7. <u>Common Support Facilities</u>. Not applicable. There are no common support facilities available in the area.</p> <p>8. <u>Effect on Other Resources</u>. The project will require approximately \$3,710 per year in increased O&amp;MN funds for increased utility services and operations. No additional personnel will be required to operate this facility. The project will enhance and improve the morale of personnel presently working and living in the vicinity. Proposed construction should be responsive to the challenges presented by the energy situation, and comply with the requirements of Executive Order 12003 of 20 July 1977 and implemented by NAVFACINST 4100.5A.</p> <p style="text-align: center;">UTILITY REQUIREMENTS</p> <p>a. Electricity Consumption <u>55,438</u> KWHR/yr</p>		



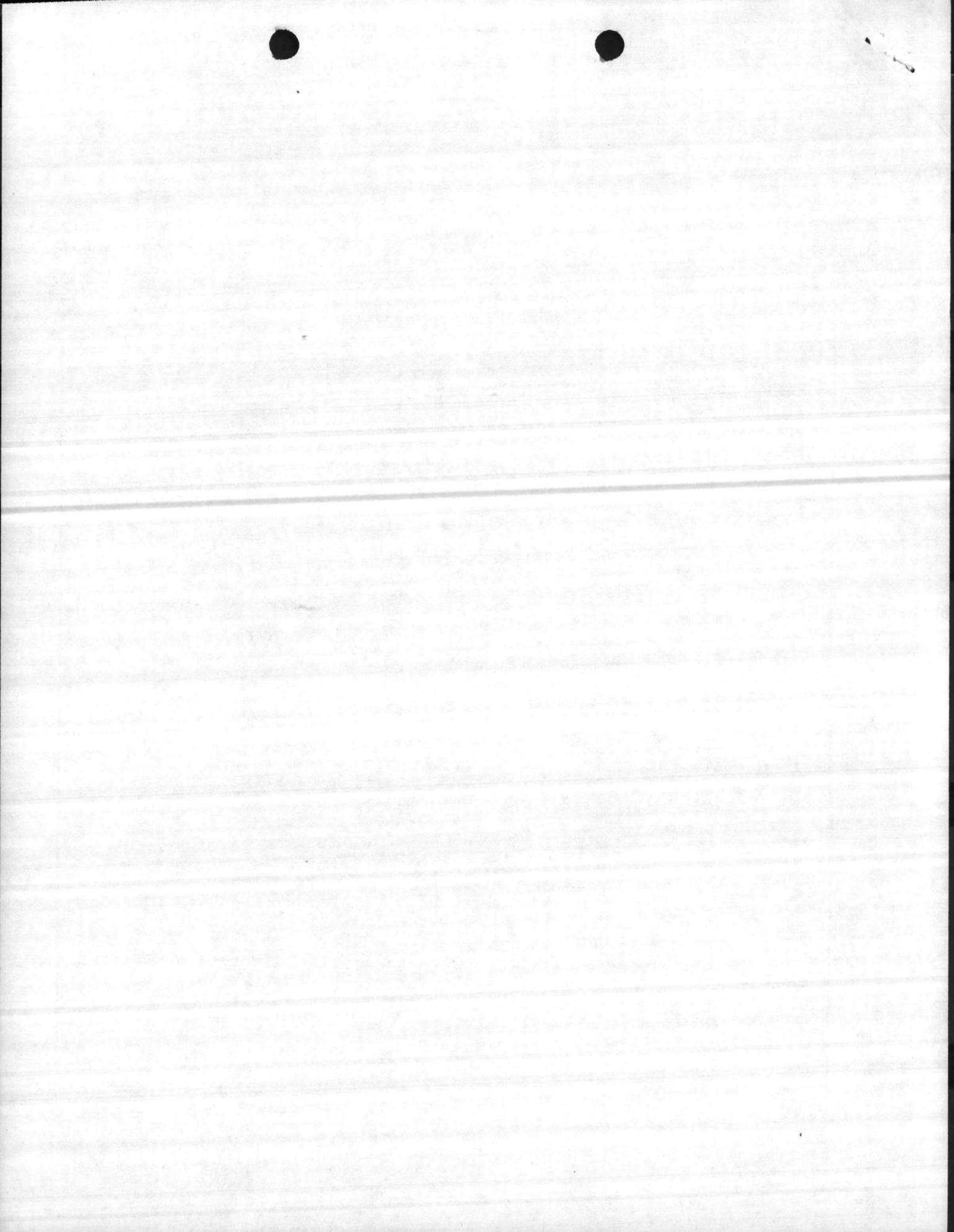
1. COMPONENT  NAVY	FY 19 <u>82</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE  20 Oct 78																																										
3. INSTALLATION AND LOCATION  MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542																																												
4. PROJECT TITLE  LOCATION EXCHANGE, BERKELEY MANOR		5. PROJECT NUMBER  P-758																																										
<table style="margin-left: auto; margin-right: auto; border-collapse: collapse;"> <tr> <td style="padding-right: 20px;">Peak Demand</td> <td style="text-align: center; border-bottom: 1px solid black;">32</td> <td style="padding-left: 20px;">KW</td> </tr> <tr> <td>Avg Demand</td> <td style="text-align: center; border-bottom: 1px solid black;">28</td> <td style="padding-left: 20px;">KW</td> </tr> </table> <p style="margin-left: 40px;">b. Steam</p> <table style="margin-left: auto; margin-right: auto; border-collapse: collapse;"> <tr> <td style="padding-right: 20px;">Consumption</td> <td style="text-align: center; border-bottom: 1px solid black;">853,376</td> <td style="padding-left: 20px;">lbs/yr</td> </tr> <tr> <td>Demand</td> <td style="text-align: center; border-bottom: 1px solid black;">305</td> <td style="padding-left: 20px;">lbs/hr</td> </tr> </table> <p style="margin-left: 40px;">c. Coal</p> <table style="margin-left: auto; margin-right: auto; border-collapse: collapse;"> <tr> <td style="padding-right: 20px;"></td> <td style="text-align: center; border-bottom: 1px solid black;">33</td> <td style="padding-left: 20px;">tons/yr</td> </tr> </table> <p style="margin-left: 40px;">d. Adequate utility requirements are available.</p> <p>9. <u>Siting of the Project:</u></p> <p style="margin-left: 40px;">a. Building layout: See enclosure (1)</p> <p style="margin-left: 40px;">b. Location: See enclosure (2)</p> <p>10. <u>Other Graphic Presentations, including Photographs.</u> None.</p> <p>11. <u>Economic Analysis.</u> The facility is being constructed in a developed area of the Base and the economic saving will be in nominal energy consumption savings to be realized from efficient operations. This is not an operational project requirement.</p> <p>12. <u>Environmental Impact.</u> The project will not cause any additional air or water pollution and energy conservation measures and features have been considered to enhance the design and economics of the facility.</p> <p>13. <u>Quantitative Data.</u></p> <p style="margin-left: 40px;">a. <u>BFRL Requirement:</u> NAVFAC P-80 allowance factors for a Location Exchange were used for the Basewide/Miscellaneous (Berkeley Manor) area of the Base. The total BFRL requirement is <u>7,210 SF</u></p> <p style="margin-left: 40px;">b. <u>Existing Assets:</u> Adequate <u>23,857 SF</u>, Substandard <u>0</u>.</p> <table style="margin-left: auto; margin-right: auto; border-collapse: collapse; width: 80%;"> <thead> <tr> <th style="text-align: left; border-bottom: 1px solid black;">Building No.</th> <th style="text-align: center; border-bottom: 1px solid black;">Area SF</th> <th style="text-align: left; border-bottom: 1px solid black;">Disposition</th> </tr> </thead> <tbody> <tr> <td>1985</td> <td style="text-align: center;">4,140</td> <td>To be retained</td> </tr> <tr> <td>LCH-4014</td> <td style="text-align: center;">7,720</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>LCH-4015</td> <td style="text-align: center;">1,100</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>TT-2461</td> <td style="text-align: center;">4,200</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>TT-2467</td> <td style="text-align: center;">1,275</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>TT-2469</td> <td style="text-align: center;">1,275</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>TT-2477</td> <td style="text-align: center; border-bottom: 1px solid black;">4,147</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td></td> <td style="text-align: center; border-top: 1px solid black;">23,857</td> <td>Subtotal</td> </tr> </tbody> </table>			Peak Demand	32	KW	Avg Demand	28	KW	Consumption	853,376	lbs/yr	Demand	305	lbs/hr		33	tons/yr	Building No.	Area SF	Disposition	1985	4,140	To be retained	LCH-4014	7,720	To be retained & engineer evaluated	LCH-4015	1,100	To be retained & engineer evaluated	TT-2461	4,200	To be retained & engineer evaluated	TT-2467	1,275	To be retained & engineer evaluated	TT-2469	1,275	To be retained & engineer evaluated	TT-2477	4,147	To be retained & engineer evaluated		23,857	Subtotal
Peak Demand	32	KW																																										
Avg Demand	28	KW																																										
Consumption	853,376	lbs/yr																																										
Demand	305	lbs/hr																																										
	33	tons/yr																																										
Building No.	Area SF	Disposition																																										
1985	4,140	To be retained																																										
LCH-4014	7,720	To be retained & engineer evaluated																																										
LCH-4015	1,100	To be retained & engineer evaluated																																										
TT-2461	4,200	To be retained & engineer evaluated																																										
TT-2467	1,275	To be retained & engineer evaluated																																										
TT-2469	1,275	To be retained & engineer evaluated																																										
TT-2477	4,147	To be retained & engineer evaluated																																										
	23,857	Subtotal																																										



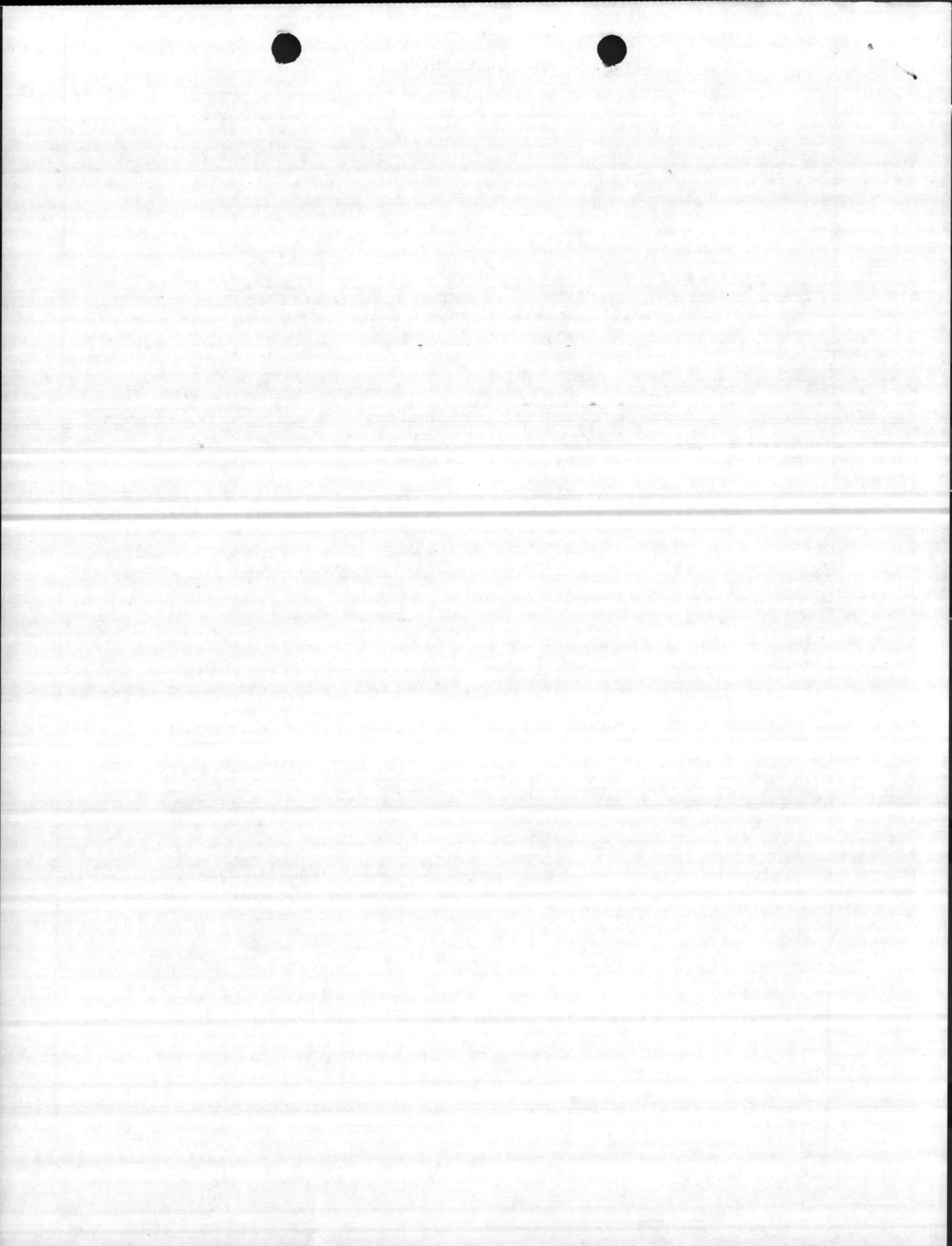
1. COMPONENT NAVY	FY 1983 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 20 Oct 78												
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542														
4. PROJECT TITLE LOCATION EXCHANGE, BERKELEY MANOR	5. PROJECT NUMBER P-758													
<p>c. <u>Planned Facilities:</u></p> <table border="0"> <thead> <tr> <th><u>FY</u></th> <th><u>Project No.</u></th> <th><u>Area SF</u></th> <th><u>Location</u></th> </tr> </thead> <tbody> <tr> <td>83</td> <td>P-758</td> <td>7,210</td> <td>Berkeley Manor</td> </tr> <tr> <td></td> <td></td> <td>7,210</td> <td>Total Planned Facility</td> </tr> </tbody> </table> <p>14. <u>Funding.</u> Funding will be from the Nonappropriated Fund , Central Construction Fund, HQMC.</p>			<u>FY</u>	<u>Project No.</u>	<u>Area SF</u>	<u>Location</u>	83	P-758	7,210	Berkeley Manor			7,210	Total Planned Facility
<u>FY</u>	<u>Project No.</u>	<u>Area SF</u>	<u>Location</u>											
83	P-758	7,210	Berkeley Manor											
		7,210	Total Planned Facility											



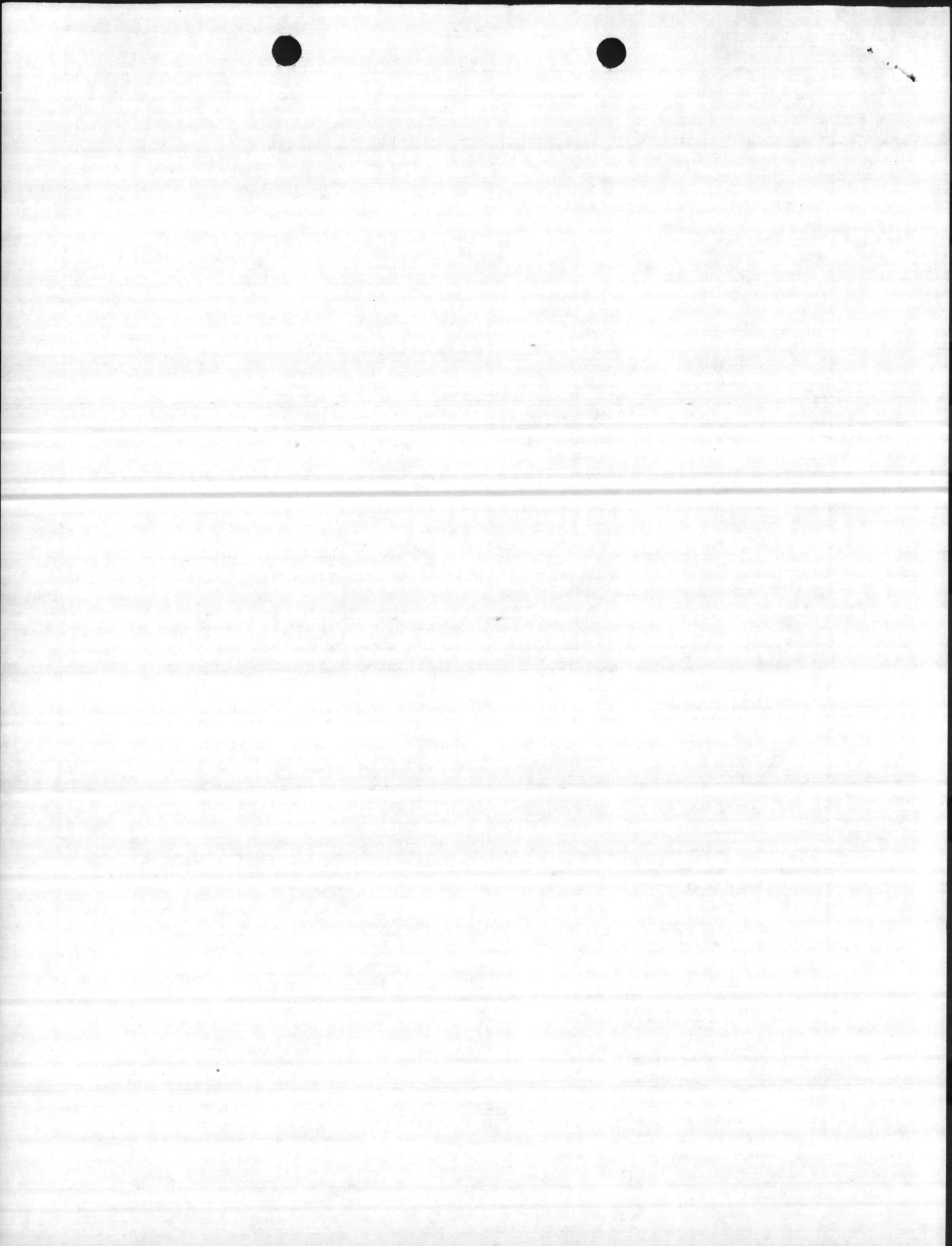
1. COMPONENT NAVY	FY 19 <u>82</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 20 Oct 78
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE LOCATION EXCHANGE, BERKELEY MANOR	5. PROJECT NUMBER P-758	
<p style="text-align: center;"><u>FACILITY STUDY</u></p> <p>1. <u>Project</u>. Provides a Location Exchange for personnel working and living in the area.</p> <p>2. <u>Current and Planned Future Workload with Regard to This Project</u>. The facilities will be utilized on an 8 hour day basis seven days a week. The duration of need for this facility is indefinite.</p> <p>3. <u>Description of Proposed Construction:</u></p> <p style="padding-left: 40px;">a. <u>Type of Construction</u>. One-story modular steel frame, reinforced concrete, special foundation, masonry walls, concrete floors, built-up roof, insulation, interior utility systems, rigid and flexible pavements, security lighting, utility connections, site improvement. etc.</p> <p style="padding-left: 40px;">b. <u>Replacement</u>. Not applicable.</p> <p style="padding-left: 40px;">c. <u>Description of Work to be Done</u>.</p> <p style="padding-left: 80px;">(1) <u>Primary Facility</u>. Modular steel frame, reinforced concrete/masonry structure on special foundation.</p> <p style="padding-left: 80px;">(2) <u>Support Facility</u>. Pavements, lighting and site improvement.</p> <p style="padding-left: 80px;">(3) <u>Energy Conservation</u>. This project will utilize energy efficient equipment and building orientation for maximum energy conservation.</p> <p style="padding-left: 80px;">(4) <u>Collateral Equipment</u>.</p> <p style="padding-left: 120px;">(a) <u>Built-in</u>: venetian blinds, window screens and doors, drinking water coolers, telephone, fire alarm, sprinkler and intercom systems, plumbing, heating, ventilating and air-conditioning systems. (The foregoing items are considered in the project cost estimate for the facility reflected on the 1391.)</p> <p style="padding-left: 120px;">(b) <u>Expense Items</u>: will be non-appropriated fund supplied equipment.</p> <p style="padding-left: 80px;">(5) <u>Supporting Facilities</u>. Special foundation, pollution abatement, site improvements, etc.</p> <p>4. <u>Cost Estimates</u>. Area cost factor for Camp Lejeune, N. C. is 1.00, NAVFAC P-448 (Feb 1976), Military Construction Cost Engineering Data.</p>		



1. COMPONENT NAVY	FY 19 <u>82</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 20 Oct 78
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE LOCATION EXCHANGE, BERKELEY MANOR	5. PROJECT NUMBER P-758	
<p>The book data is escalated to provide the cost for the proposed facility. The contingency factor is 10% and the cost growth factor is computed at 10% per year for the project.</p> <p>5. <u>Justification for Project and for Scope of Project:</u></p> <p>a. <u>Justification for Project:</u></p> <p>(1) <u>Project</u>. Proposed facility is required for troops and personnel living and working in close proximity to the proposed Location Exchange.</p> <p>(2) <u>Current Situation</u>. Location Exchanges are in substandard and minimum facilities, located in or near personnel centers.</p> <p>(3) <u>Impact if Not Provided</u>. Personnel will continue to utilize substandard and minimum facilities which provide inefficient operations and limited services to patrons.</p> <p>b. <u>Justification for Scope of Project:</u></p> <p>(1) The project scope is the minimum size facility that can meet the deficiency requirements for space, Category Code 740-02 (Location Exchange). This will correct the deficiency in the area. See Item 13, Quantitative Data.</p> <p>6. <u>Equipment Provided from Other Appropriations</u>. Not applicable.</p> <p>7. <u>Common Support Facilities</u>. Not applicable. There are no common support facilities available in the area.</p> <p>8. <u>Effect on Other Resources</u>. The project will require approximately \$3,710 per year in increased O&amp;MN funds for increased utility services and operations. No additional personnel will be required to operate this facility. The project will enhance and improve the morale of personnel presently working and living in the vicinity. Proposed construction should be responsive to the challenges presented by the energy situation, and comply with the requirements of Executive Order 12003 of 20 July 1977 and implemented by NAVFACINST 4100.5A.</p> <p style="text-align: center;">UTILITY REQUIREMENTS</p> <p>a. Electricity Consumption <u>55,438</u> KWHR/yr</p>		



1. COMPONENT  NAVY	FY 19 <u>82</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE  20 Oct 78																											
3. INSTALLATION AND LOCATION  MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542																													
4. PROJECT TITLE  LOCATION EXCHANGE, BERKELEY MANOR		5. PROJECT NUMBER  P-758																											
<p style="text-align: right;">Peak Demand      <u>32</u>      KW</p> <p style="text-align: right;">Avg Demand        <u>28</u>      KW</p> <p>b. Steam</p> <p style="text-align: right;">Consumption      <u>853,376</u>    lbs/yr</p> <p style="text-align: right;">Demand            <u>305</u>          lbs/hr</p> <p>c. Coal                                      <u>33</u>          tons/yr</p> <p>d. Adequate utility requirements are available.</p> <p>9. <u>Siting of the Project:</u></p> <p>a. Building layout: See enclosure (1)</p> <p>b. Location: See enclosure (2)</p> <p>10. <u>Other Graphic Presentations, including Photographs.</u> None.</p> <p>11. <u>Economic Analysis.</u> The facility is being constructed in a developed area of the Base and the economic saving will be in nominal energy consumption savings to be realized from efficient operations. This is not an operational project requirement.</p> <p>12. <u>Environmental Impact.</u> The project will not cause any additional air or water pollution and energy conservation measures and features have been considered to enhance the design and economics of the facility.</p> <p>13. <u>Quantitative Data.</u></p> <p>a. <u>BFRL Requirement:</u> NAVFAC P-80 allowance factors for a Location Exchange were used for the Basewide/Miscellaneous (Berkeley Manor) area of the Base. The total BFRL requirement is <u>7,210 SF</u></p> <p>b. <u>Existing Assets:</u> Adequate <u>23,857 SF</u>, Substandard <u>0</u>.</p> <table style="margin-left: auto; margin-right: auto; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;"><u>Building No.</u></th> <th style="text-align: left;"><u>Area SF</u></th> <th style="text-align: left;"><u>Disposition</u></th> </tr> </thead> <tbody> <tr> <td>1985</td> <td style="text-align: right;">4,140</td> <td>To be retained</td> </tr> <tr> <td>LCH-4014</td> <td style="text-align: right;">7,720</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>LCH-4015</td> <td style="text-align: right;">1,100</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>TT-2461</td> <td style="text-align: right;">4,200</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>TT-2467</td> <td style="text-align: right;">1,275</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>TT-2469</td> <td style="text-align: right;">1,275</td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td>TT-2477</td> <td style="text-align: right;"><u>4,147</u></td> <td>To be retained &amp; engineer evaluated</td> </tr> <tr> <td></td> <td style="text-align: right;"><u>23,857</u> Subtotal</td> <td></td> </tr> </tbody> </table>			<u>Building No.</u>	<u>Area SF</u>	<u>Disposition</u>	1985	4,140	To be retained	LCH-4014	7,720	To be retained & engineer evaluated	LCH-4015	1,100	To be retained & engineer evaluated	TT-2461	4,200	To be retained & engineer evaluated	TT-2467	1,275	To be retained & engineer evaluated	TT-2469	1,275	To be retained & engineer evaluated	TT-2477	<u>4,147</u>	To be retained & engineer evaluated		<u>23,857</u> Subtotal	
<u>Building No.</u>	<u>Area SF</u>	<u>Disposition</u>																											
1985	4,140	To be retained																											
LCH-4014	7,720	To be retained & engineer evaluated																											
LCH-4015	1,100	To be retained & engineer evaluated																											
TT-2461	4,200	To be retained & engineer evaluated																											
TT-2467	1,275	To be retained & engineer evaluated																											
TT-2469	1,275	To be retained & engineer evaluated																											
TT-2477	<u>4,147</u>	To be retained & engineer evaluated																											
	<u>23,857</u> Subtotal																												



1. COMPONENT NAVY	FY 19 <u>83</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 20 Oct 78												
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542														
4. PROJECT TITLE LOCATION EXCHANGE, BERKELEY MANOR	5. PROJECT NUMBER P-758													
<p>c. <u>Planned Facilities:</u></p> <table border="0"> <thead> <tr> <th><u>FY</u></th> <th><u>Project No.</u></th> <th><u>Area SF</u></th> <th><u>Location</u></th> </tr> </thead> <tbody> <tr> <td>83</td> <td>P-758</td> <td><u>7,210</u></td> <td>Berkeley Manor</td> </tr> <tr> <td></td> <td></td> <td>7,210</td> <td>Total Planned Facility</td> </tr> </tbody> </table> <p>14. <u>Funding.</u> Funding will be from the Nonappropriated Fund , Central Construction Fund, HQMC.</p>			<u>FY</u>	<u>Project No.</u>	<u>Area SF</u>	<u>Location</u>	83	P-758	<u>7,210</u>	Berkeley Manor			7,210	Total Planned Facility
<u>FY</u>	<u>Project No.</u>	<u>Area SF</u>	<u>Location</u>											
83	P-758	<u>7,210</u>	Berkeley Manor											
		7,210	Total Planned Facility											

